



Agenda
Village of Glen Ellyn
Historic Preservation Commission Meeting
Thursday, April 16, 2026
7:00 PM
Glen Ellyn Civic Center, Galligan Board Room

Visitors are most welcome to attend all public meetings and can find copies of the Agenda online at www.glenellyn.org prior to the meeting. Any individual with a disability requiring reasonable accommodation in order to participate in a meeting should contact the Village of Glen Ellyn ADA Coordinator, 630-469-5000, at least five (5) business days in advance of the next scheduled meeting.

- A. Call to Order**
- B. Approval of Minutes**
 - 1) Approval of the Minutes from the March 19, 2026, Regular Meeting of the Historic Preservation Commission
- C. Public Comment**
- D. GEHS Director's Report**
- E. Old Business**
- F. New Business**
 - 1) Landmark Alteration Preliminary Approval Request - 684 Highland Avenue
 - 2) 2025 Historic Preservation Commission Annual Awards
- G. Chairperson's Report**
- H. Trustee's Report**
- I. Staff Report**
- J. Reminders**
- K. Adjourn**

Civility Pledge - In the interest of civility, I pledge to promote civility by listening, being respectful of others, acknowledging that we are striving to support and improve our community, and understanding that we each may have different ideas for achieving that objective.



**Glen Ellyn Historic
Preservation Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 4/16/2026 7:00 PM
Department: Community Development
Department Head: Jennifer Henaghan
Category: Minutes
Prepared By: Jordan Frahm

**AGENDA ITEM (ID # 2026-
288)**

DOC ID: 2026-288

Approval of the Minutes from the March 19, 2026, Regular Meeting of the Historic Preservation Commission

Statement of the Issue:

Review and approve the minutes from last month's regular meeting of the HPC.

Analysis:

Topics included interpretive signage at the Glen Ellyn Metra Station, and an application to the Preservation Grant Program.

Budget Impact:

Contribution to Strategic Plan

Action Requested:

Review and approval of the Minutes from the March 19, 2026, Regular Meeting of the Historic Preservation Commission.

Attachments:

1. March 19, 2026 Historical Preservation Commission Minutes



Minutes
 Village of Glen Ellyn
 Historic Preservation
 Regular Meeting
 March 19, 2026
 7:00PM
 Glen Ellyn Civic Center

Board or Commission: Historic Preservation
Meeting: Regular
Quorum: Yes

Date: March 19, 2026
Called to Order: 7:00 p.m.
Adjourned: 8:35 p.m.

MEMBER ATTENDANCE:

Penn French	Chairman	Present
Nathan Darga	Commissioner	Present
Donna Leak	Commissioner	Present
Barb Lemme	Commissioner	Present
Robert Margetts	Commissioner	Present
Jeremy Schletz	Commissioner	Absent
Zak Wilson	Commissioner	Present

Also Present:

Jordan Frahm	Associate Planner	
Kelli Kalinich	Village Trustee	
Tim Loftus	President of the Historical Society	
Dan Schoeneberg	Executive Director of the Historical Society	
Elisa Pollina	Recording Secretary	

Public Present:

A. CALL TO ORDER

The March 19, 2026 regular meeting of the Historic Preservation Commission was called to order by Chairman French at 7:00 PM at the Glen Ellyn Civic Center.

B. PUBLIC COMMENT – None

C. APPROVAL OF MINUTES FROM February 19, 2026 – Commissioner Lemme motioned to approve the minutes from February 19, 2025; Commissioner Margetts seconded the motion. The motion unanimously passed.

D. OLD BUSINESS - None**E. NEW BUSINESS**

1. Review of Interpretive Signage for the Glen Ellyn Metra Station – Staff Liaison Frahm explained that, as part of the Section 106 review process for the Glen Ellyn Metra Station project, the existing depot was determined eligible for listing in the National Register of Historic Places. As a result, the Village entered into a Memorandum of Agreement (MOA) with the Federal Highway Administration, Illinois Department of Transportation, and the State Historic Preservation Office to address the adverse effects associated with demolition of the existing depot. One of the required mitigation measures includes development of interpretive signage near the former station site, which requires Historic Preservation Commission (HPC) review and recommendation.

Village Engineer Daubert provided additional context on the project, noting that Phase I engineering began in 2017 with goals to improve the station and enhance pedestrian grade separation. During the process, the historic nature of the depot created additional considerations and requirements. The design has advanced to approximately 90% completion, with remaining work focused on final approvals, including Union Pacific coordination and necessary easements. Daubert noted that the Village has secured approximately \$27 million in grant funding and is pursuing an additional \$10 million, with further contingency funding opportunities possible once the project advances to letting.

Rowland Zielinski of JRK Architecture, along with historian Victoria Hill, presented the proposed interpretive signage. The signage is intended to document the historic significance of the site and fulfill MOA mitigation requirements. The proposed installation includes three site markers: “Glen Ellyn’s First Train,” “First Railroad Depot,” and “Electric Train Depot.” A larger 4-by-4-foot interpretive sign rendering was presented, featuring historical text and photographs documenting the station’s history. The signage will be constructed of porcelain enamel, which is durable, colorfast, easy to clean, and resistant to denting. The draft signage has been shared with various stakeholders, and staff requested HPC input and consideration of a recommendation.

Commission members reviewed the signage. Commissioner Margetts expressed support and asked about the disposition of the existing signage. Engineer Daubert noted that discussions are ongoing regarding potential relocation of the original signs. Commissioner Lemme stated that preserving and incorporating the original signage at a physical location would be beneficial. She also expressed appreciation for the research, photographs, text, and proposed placement, and indicated her support for the design. Commissioner Leak added that she liked the design and felt it appropriately reflected the site’s history.

Darga asked for an update on the mural inside the station. Daubert explained that several potential locations for the mural were considered. One concern is that

the mural is painted on plywood. The Village is considering Glenbard West High School (GBW) as an ideal location, since the mural was painted by GBW students. GBW is supportive of displaying it in their building, potentially in their new addition. The State requires that the mural's location be publicly accessible and officially confirmed.

Commissioner Lemme motioned to adopt the resolution as presented, and Commissioner Margetts seconded the motion. The motion unanimously passed.

2. Preservation Incentive Program — Consideration of Candidates for Qualified Properties List - 417 Melrose Avenue – Associate Planner Frahm presented 417 Melrose Avenue, a property near the library built in 1927, for consideration as part of the Preservation Incentive Program. The property, identified as a "Contributing" Dutch Colonial Revival in the 2010 Architectural Resource Survey, has maintained much of its original exterior appearance, including a small rear addition. Exterior changes have been minimal, limited to a 2016 permit to replace aluminum siding with vinyl and a 2016 permit to rebuild the front porch.

Based on the program criteria, the Commission may vote to include the property on the Qualified Properties List for grant eligibility.

Commissioner Darga motioned to add 417 Melrose Avenue to the Qualified Properties List, and Commissioner Margetts seconded the motion. The motion unanimously passed.

3. Preservation Matching Grant — 417 Melrose Avenue – Associate Planner Frahm presented the project, noting that homeowner Daniel Barnett is seeking a Historic Preservation Incentive Program Matching Grant to restore the windows at 417 Melrose Avenue. The existing vinyl windows are not in keeping with the home's original character. The proposed project will replace them with new wooden, double-hung windows featuring historically appropriate proportions, true wood frames, and sashes, in alignment with the Secretary of the Interior's Standards for Rehabilitation. The total project cost is \$24,941, and the applicant is requesting the maximum grant award of \$10,000. Frahm shared images of the current vinyl windows alongside the proposed replacements.

Commissioner Darga motioned to recommend Village Board approval of the Preservation Matching Grant for 417 Melrose Avenue in the amount of \$10,000; Commissioner Margetts seconded the motion. The motion unanimously passed.

F. HISTORICAL SOCIETY BUSINESS – Historical Society Business – Dan Schoeneberg, Executive Director of the Glen Ellyn Historical Society, provided several updates.

Upcoming events include:

April 4: Terry Lynch presenting *Fight for the Right to Be Free*.

April 12: A welcome-home celebration for Olympic medalist Ethan Seferon, from 2:00–4:00 PM.

April 28–May 2: The Vintage Market, a fundraiser for the Historical Society, running daily from 10:00 AM–5:00 PM.

Additionally, the Speed Skating exhibit will remain on display through the end of April.

G. CHAIRMAN REPORT – Chairman French announced that, as of yesterday, he has been officially appointed as the newest member of the Board of the Glen Ellyn Historical Society.

H. TRUSTEE'S REPORT – Trustee Kalinich provided several updates. She reported that the Glen Theater is showing *Lucas*, filmed in Glen Ellyn, for its 40th anniversary, with 3–4 showings per day this week. Each screening is preceded by a documentary created by Glenbard Newspaper staff, featuring interviews with locals who participated in the film. She attended the 5:20 show and noted it was very popular.

As a follow-up to the February meeting regarding the Scripture Press property workshop, Trustee Kalinich shared that it was an informative session. Staff and the developer explained that if the site were developed for residential use, it would present challenges, including coordination between two different police and fire departments and addressing existing flooding concerns. She noted that significant investment of multi-million-dollar efforts are being made to manage stormwater, including water retention areas and underground piping beyond the property to properly channel natural drainage. Renderings of the project are available on the Village website.

The project will return to the Village Board for a future workshop. Trustee Kalinich added that the Village will have the right of first refusal regarding the final design of the water retention system, which provides additional reassurance about the project. The property is currently owned by Wheaton College, and the developer is working in collaboration with the Wheaton College and Glen Ellyn's and Wheaton's community development teams. Overall, the Village Board is confident in the direction of the project.

I. STAFF REPORT – Jordan Frahm provided an update, noting that after discussions with Village facility staff regarding door replacements, the staff plans to return to the HPC with a landmark alteration request in June or July, with the HPC suggesting June 18 as a target date.

J. ADJOURNMENT– Commissioner Darga motioned to adjourn the meeting and Commissioner Lemme seconded the motion. The meeting was adjourned at 8:35 p.m.

Submitted by Elisa Pollina, Recording Secretary

Reviewed by Jordan Frahm, Staff Liaison



**Glen Ellyn Historic
Preservation Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 4/16/2026 7:00 PM
Department: Community Development
Department Head:
Category: Discussion Item
Prepared By: Jordan Frahm

**AGENDA ITEM (ID # 2026-
282)**

DOC ID: 2026-282

Landmark Alteration Preliminary Approval Request - 684 Highland Avenue

Statement of the Issue:

AM Kitchen and Bath, the petitioner and applicant for a home addition permit, has proposed a rear addition to a Village Landmark property at 684 Highland Avenue. The homeowners are seeking a vertical addition over the existing footprint at the rear of the home, and will add a deck as an accessory structure (accessory structures for Landmark Properties are not regulated by the HPC).

Analysis:

The vertical addition requires preliminary approval from the Historic Preservation Commission in order for a permit to be issued. If the HPC were to make a determination denying the preliminary approval, the landmark alteration request will be required to go through a public hearing process. The construction plans indicate that the addition will reuse existing windows and will match the existing shingles and stucco currently used at the rear of the home per proposed elevations. This property was recognized as a Village Landmark by Ordinance No. 6180 in October 2013 due to its status as an excellent example of its architectural style, and its contribution to a neighborhood that is notable for myriad architectural styles from the late 19th century to the mid 20th century.

Budget Impact:

Contribution to Strategic Plan

Action Requested:

Review this alteration request and all attachments, discuss, and make a motion for preliminary approval, or preliminary disapproval.

Attachments:

1. Ord. 6180
2. Construction Plans
3. Site Plan with Deck dimensions
4. Plat of Survey



FRED BUCHOLZ

DUPAGE COUNTY RECORDER

OCT. 30, 2013

10:56 AM

OTHER

05-11-116-014

008 PAGES

R2013-149938

Village of Glen Ellyn

Ordinance No. 6100

An Ordinance Designating the Property
at 684 Highland Avenue, Glen Ellyn, IL
as a Glen Ellyn Local Landmark 60137

Adopted by the
President and Board of Trustees
Of the
Village of Glen Ellyn
DuPage County, Illinois
This 28th day of October, 2013.

Published in pamphlet form by the authority of the
President and Board of Trustees of the Village of
Glen Ellyn, DuPage County, Illinois, this 28th
Day of October, 2013.

PREPARED BY AND MAIL TO:
VILLAGE OF GLEN ELLYN
ATTN: VILLAGE CLERK
535 Duane Street
Glen Ellyn, IL 60137

Ordinance No. 6180

**An Ordinance Designating the Property
at 684 Highland Avenue, Glen Ellyn, IL
as a Glen Ellyn Local Landmark**

Whereas, Alan Thelen, owner of the property commonly known as 684 Highland Avenue ("Property"), Glen Ellyn, DuPage County, Illinois, and legally described as follows:

THE SOUTH 60.00 FEET OF LOT 5, TOGETHER WITH THE EAST HALF OF THE VACATED ALLEY LYING WEST AND ADJOINING THE SOUTH 60.00 FEET OF SAID LOT, IN BLOCK 13 IN GLEN ELLYN ADDITION TO PROSPECT PARK, BEING A SUBDIVISION IN SECTION 11, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 11, 1890 AS DOCUMENT NUMBER 42867, IN DUPAGE COUNTY, ILLINOIS.

PIN 05-11-116-014

has submitted a written request for Village of Glen Ellyn Historic Landmark Designation for the property at said address in accordance with Chapter 13 of Title 2 of the Glen Ellyn Village Code, known as the Historic Preservation Ordinance; and

Whereas, following due notice by publication in the Daily Herald not less than fifteen (15) days nor more than thirty (30) days prior thereto, and following placement of a placard on the subject property not less than fifteen (15) days prior thereto, Glen Ellyn Historic Preservation Commission conducted a public hearing on September 26, 2013, during which evidence, testimony, and exhibits were presented in support of the request for Landmark Designation; and

Whereas, based upon the evidence, testimony, and exhibits presented at the public hearing, the Glen Ellyn Historic Preservation Commission recommended that the property be officially designated as a historic and architectural landmark, as set forth in its Report and Recommendation dated October 18, 2013, a copy of which is appended hereto as "Exhibit A"; and

Whereas, the President and Board of Trustees of the Village of Glen Ellyn have reviewed the evidence and exhibits presented at the aforementioned public hearing and have considered the Report

and Recommendation of the Glen Ellyn Historic Preservation Commission and find that the property satisfies one or more of the criteria for designation as a Glen Ellyn landmark as provided for in Section 2-13-3(A) of the Glen Ellyn Village Code;

Now, Therefore, be it Ordained by the President and Board of Trustees of the Village of Glen Ellyn, DuPage County, Illinois, in exercise of its home rule powers, as follows:

Section One: The Report and Recommendation of the Glen Ellyn Historic Preservation Commission, attached hereto as Exhibit "A", is hereby accepted, and the findings and conclusions set forth therein and in the preamble below are hereby adopted as findings of the corporate authorities of the Village of Glen Ellyn.

Section Two: The President and Board of Trustees hereby designate the property located at 684 Highland Avenue in Glen Ellyn, DuPage County, Illinois, as a Glen Ellyn Local Landmark.

Section Three: The property is hereby determined to be a Glen Ellyn Local Landmark because it satisfies the following criteria set forth in Section 2-13-3(A) of the Glen Ellyn Village Code:

- A. The property was built in 1926.
- B. The property is an outstanding and unique example of the style of architecture in which it was built.
- C. The home is located on the west side of Highland Avenue between Maple Street to the north and Linden Street to the south. This neighborhood has been recognized for its historical significance due to the abundance of historic homes ranging in different architectural styles significant in the late 1800s to early to mid 1900s.

Section Four: The determination of landmark designation is based upon the owner's written request and the evidence, exhibits, and testimony presented at the September 26, 2013 Historic Preservation Commission public hearing including the documents listed below, which are referenced herein as though they were attached hereto, and said documents shall be filed with and made a permanent part of the records of the Glen Ellyn Historic Preservation Commission:

- A. Historic Landmark Nomination Form
- B. Picture of the home on the property
- C. Copy of the notice of the Public Hearing

Section Five: By virtue of its satisfying the criteria specified herein, the property is hereby declared and designated as a Glen Ellyn Local Landmark, and the owners of said property are requested to affix a plaque to the house denoting said designation.

Section Six: The Historic Preservation Commission is authorized and directed to send a certified copy of this Ordinance and a summary report of the effects of designation to the owners within ten (10) days of the passage of this Ordinance, and the Village Clerk is authorized and directed to file or cause to be filed a certified copy of this Ordinance with the DuPage County Recorder of Deeds, Milton Township Assessor, and appropriate Village departments.

Section Seven: The provisions and sections of this Ordinance shall be deemed to be separable, and the invalidity of any portion of this Ordinance shall not affect the validity of the remainder.

Section Eight: This Ordinance shall be in full force and effect from and after its passage, approval, and publication in the manner provided by law.

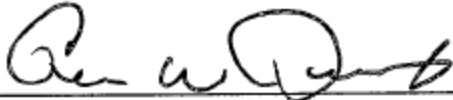
Passed by the President and Board of Trustees of the Village of Glen Ellyn, Illinois, this 28th day of October, 2013, on first reading, second reading not being requested.

Ayes: Trustees Clark, Elliott, Fuschberg, Ladese, McHenry and O'Shea.

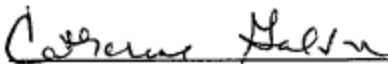
Nays: ϕ

Absent: ϕ

Approved by the Village President of the Village of Glen Ellyn, Illinois, this 28th day of October, 2013.


Village President of the Village
of Glen Ellyn, Illinois

Attest:


Village Clerk of the Village
of Glen Ellyn, Illinois

(Published in pamphlet form and posted on the 29th day of October.)

REPORT AND RECOMMENDATION
OF THE GLEN ELLYN
HISTORIC PRESERVATION COMMISSION
ON THE REQUEST OF ALAN THELEN
FOR THE DESIGNATION OF THE PROPERTY
LOCATED AT 684 HIGHLAND AVENUE
AS A HISTORIC LANDMARK

TO: The President and Board of Trustees,
Village of Glen Ellyn, Illinois

DATE: October 18, 2013

Background. Alan Thelen ("Petitioner"), property owner of 684 Highland Avenue ("Property"), filed a petition to have their home designated as a Glen Ellyn Historic Landmark on January 26, 2013. On August 22, 2013, pursuant to the testimony and facts presented by the Petitioner, the Glen Ellyn Historic Preservation Commission granted preliminary determination of landmark designation to the Property. In accordance to the Glen Ellyn Historical and Architectural Landmark Preservation Ordinance (#3825), a public hearing was held before the Historic Preservation Commission on Thursday, September 26, 2013. The Historic Preservation Commission heard testimony, and issues the following Report and Recommendation to the Village Board.

I. **Report:**

A. **Request.**

The Petitioner is requesting landmark designation for their property located at 684 Highland Avenue, Glen Ellyn, Illinois.

B. **Exhibits.**

The following materials were submitted for review prior to the Historic Preservation Commission meeting:

Exhibit 1: Historic Landmark Nomination Form received on July 10, 2013 from the Petitioner for the Property along with submittals.

Exhibit 2: Notice of Public Hearing published in the September 5, 2013, edition of the Daily Herald.

Exhibit 3: Minutes from the August 22, 2013, regular Historic Preservation Commission meeting.

Exhibit 4: Minutes from the September 26, 2013, regular Historic Preservation Commission meeting.

C. **September 26, 2013, Public Hearing.**

The Commission reviewed the landmark designation of the home at 684 Highland Avenue by reviewing the nomination form, pictures of the property, and additional property information.

D. Public Comment.

No members of the public spoke in favor or opposition of the request.

E. Discussion.

Commissioner Manak stated the application was filed on the basis of the following criteria:

1. Its value as an example of the architectural, cultural, economic, historic, social or other aspect of the heritage of the Village of Glen Ellyn, the State of Illinois, or the United States;
2. Its identification with a person or persons who significantly contributed to architectural, cultural, economic, historic, social or other aspect of the development of the Village of Glen Ellyn, the State of Illinois, or the United States (Louis Christie)
3. Its exemplification of an architectural type or style distinguished by innovation, rarity, uniqueness or overall quality of design, detail, materials or craftsmanship;

II. **Recommendation** -- On a motion made by Commissioner Manak and seconded by Commissioner Schreiber, the Historic Preservation Commission recommends the Village Board approve the landmark designation for the property located at 684 Highland Avenue. The motion carried with a vote of seven (7) "Yes," zero (0) "No".

Respectfully submitted,

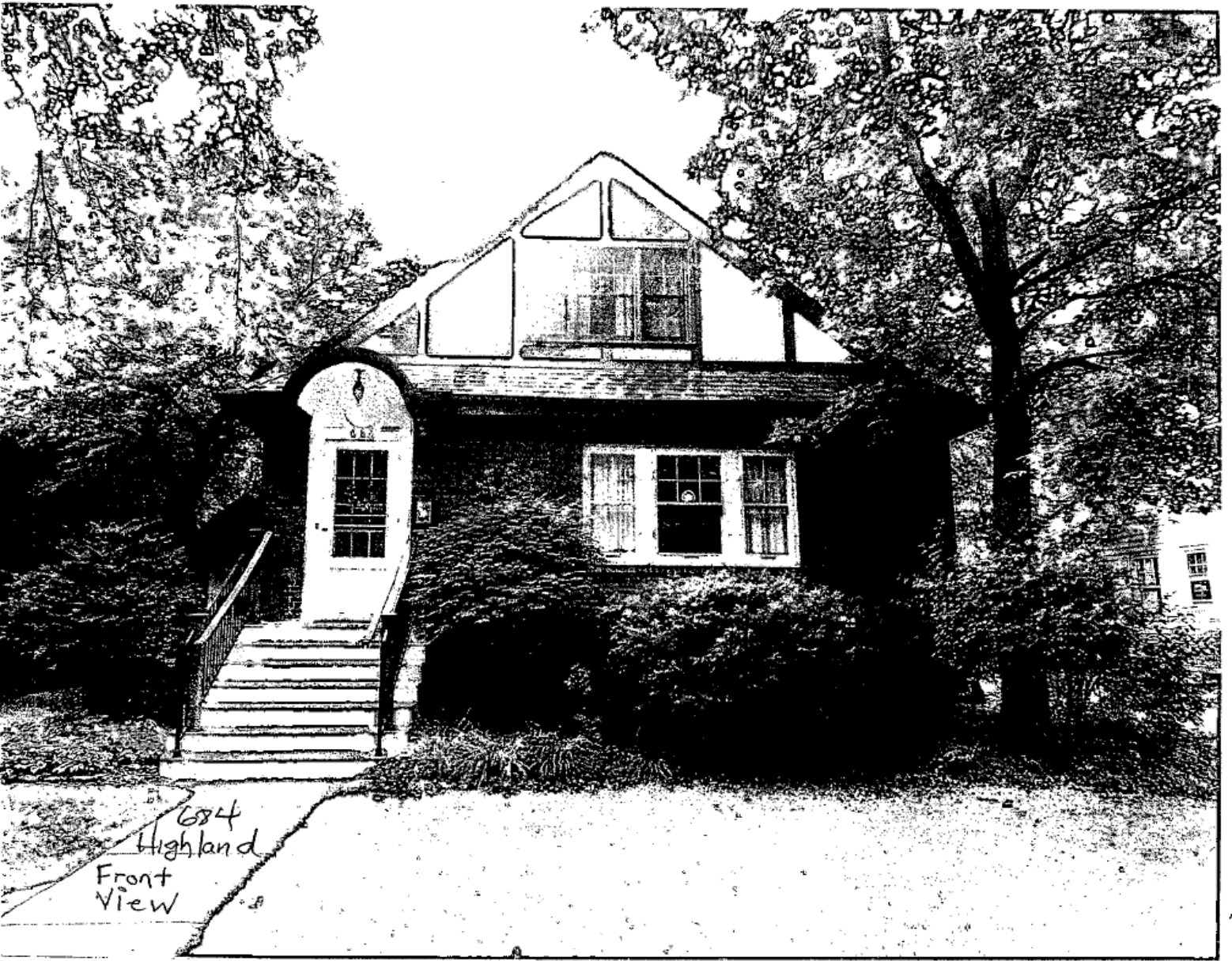
Leland Marks, Chairman
Historical Preservation Commission

Date of Meeting: September 26, 2013

Present: Commissioners Christiansen, Loftus, Manak, Rasnic, Schreiber, Wilson and
Chairman Marks

Excused: Commissioners Fisher, Saliamonas, Student Commissioner Davis

Also Present: Staff Liaison Schrader, Trustee Liaison McGinley, Recording Secretary Solomon





CERTIFICATION

I, Catherine Galvin, duly elected Village Clerk of the Village of Glen Ellyn, Illinois, do hereby certify that the attached is a true and correct copy of Ordinance No. 6180, passed by the Board of Trustees of the Village of Glen Ellyn, Illinois, at the Regular Board Meeting of said Board held on the 28th day of October 2013, and that the same was signed and approved by the President of said Village on the 28th day of October 2013.

I do further certify that the original, of which the attached is a true and correct copy, is entrusted to me as Village Clerk of said Village for safekeeping and that I am the lawful custodian and keeper of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Glen Ellyn, Illinois, this 28th day of October, 2013.

Catherine Galvin

Village Clerk

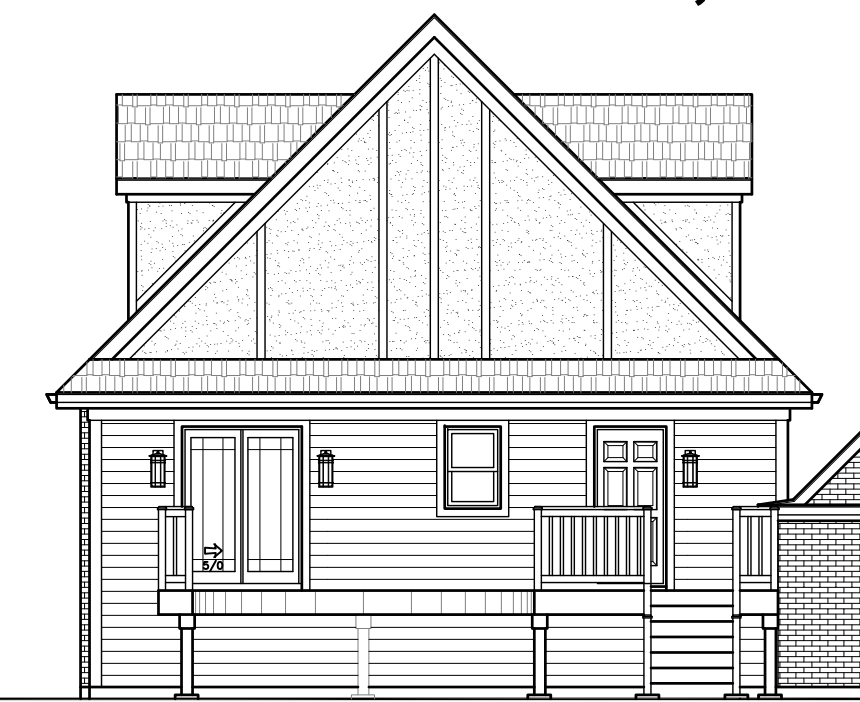
CORPORATE SEAL

RESIDENTIAL GENERAL NOTES

2024 ENERGY CODE NOTES

RESIDENTIAL ADDITION

GLEN ELLYN, ILLINOIS



664 W. Veterans Pkwy, Suite A
Yorkville, Illinois 60560
Phone: 630-381-9019
E-mail: alberto@agamadesigns.com

THESE DRAWINGS, INCLUDING ALL DESIGN, DETAIL, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS.

SECTION 0100 GENERAL

- 1. MEANS AND METHODS AND SAFETY OF WORK: THE ARCHITECT SHALL NOT CONTROL OR SPECIFY ANY MEANS OR METHODS OF ANY WORK PERFORMED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR. ALL ISSUES OF JOBSITE SAFETY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, THE CONSTRUCTION MANAGER OR THE OWNER IF THE OWNER IS ACTING AS GENERAL CONTRACTOR OR CONSTRUCTION MANAGER.
2. INSURANCE: ALL CONTRACTORS SHALL HAVE A MINIMUM OF ONE MILLION DOLLARS OF INSURANCE COVERAGE FOR PROPERTY AND PERSONAL LIABILITY INSURANCE FOR THE PERFORMANCE OF THE WORK AND TRANSPORTATION TO AND FROM THE JOBSITE. ALL CONTRACTORS EMPLOYING OTHERS SHALL HAVE WORKMAN'S COMPENSATION INSURANCE AS REQUIRED BY THE STATE OF ILLINOIS. ALL CONTRACTORS SHALL SUPPLY THE OWNER WITH CURRENT CERTIFICATES OF INSURANCE THAT NAME THE OWNER AND THE ARCHITECT AS "ALSO INSURED". SUBMITTAL OF A BID SHALL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS SUCH INSURANCE OR WILL PROVIDE SUCH INSURANCE. NOT SUBMITTING SUCH CERTIFICATES SHALL NOT CONSTITUTE WAIVING OF CONTRACTOR'S REQUIREMENT TO CARRY INSURANCE THROUGHOUT THE DURATION OF THE JOB. BIDDER AGREES THAT NON-SUBMITTAL OF AN INSURANCE CERTIFICATE IS GROUNDS FOR WITHHOLDING PAYMENT BY OWNER UNTIL CERTIFICATE IS FILED WITH THE OWNER.
3. ERRORS AND CONFLICTS ON THE DRAWINGS: THE GENERAL CONTRACTOR OR CONST. MANAGER SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ON THE DESIGN DRAWINGS AND ANY SHOP DRAWINGS. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR VERIFYING AND CHECKING THE LAYOUT AND CONSTRUCTION OF ALL SUBCONTRACTORS, AND HIS OWN WORK. THE ARCHITECT SHALL NOT BE LIABLE FOR CORRECTIVE WORK OR REMOVAL OF RESULTING FROM ERRORS OR CONFLICTS ON THE DESIGN DRAWINGS IF THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER FAILS TO CHECK THE DRAWINGS OR THE LAYOUT FOR CONFORMANCE WITH THE OVERALL DESIGN CONCEPT. SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING THAT ANY EQUIPMENT OR FIXTURES SPECIFIED BY MODEL NUMBER ETC. IS THE APPROPRIATE MODEL NUMBER, WITH THE APPROPRIATE FITTINGS, ATTACHMENTS, TRIMS, ETC. FOR THE TYPE OF CONSTRUCTION INTO WHICH THE EQUIPMENT OR FIXTURE IS TO BE INSTALLED. THE ARCHITECT ASSUMES NO LIABILITY FOR CORRECTION OR REPLACEMENT OR RESTOCKING FEES FOR MATERIALS ORDERED BY ANY CONTRACTOR OR SUBCONTRACTOR WHO DOES NOT VERIFY MODEL NUMBERS AND CONTEXT OF THE INSTALLATION.
4. GENERAL CONTRACTOR SHALL VISIT THE SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND LIMITATIONS AFFECTING THE WORK. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD.
5. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. CONTACT ARCHITECT FOR ANY CLARIFICATIONS.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES WHICH HAVE AUTHORITY OVER THIS PROJECT.
7. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS NECESSARY AND INCIDENTAL FOR HIS INSTALLATION.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TOOLS, DEBRIS AND GENERAL CLEAN-UP.
9. GENERAL CONTRACTOR TO UNCONDITIONALLY GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK AND MATERIALS.
10. THE G.C. SHALL BUILD THE BUILDING IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL BUILDING CODES
11. G.C. TO COMPLY WITH FEDERAL OSHA STANDARDS
12. THE PROPER AND CORRECT ADDRESS SHALL BE MOUNTED ON THE HOUSE AND CLEARLY VISIBLE FROM THE MAIN STREET. ADDRESS CHARACTERS SHALL BE ARABIC NUMERALS AND SHALL BE AT LEAST 6" IN HEIGHT AND MOUNTED ON A CONTRASTING BACKGROUND OTHER THAN GLASS.
13. INDICATE A PERMANENT CERTIFICATE, COMPLETED BY THE BUILDER, SHALL BE POSTED ON A WALL WHERE THE FURNACE/ELECTRICAL SERVICE PANEL IS LOCATED. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION THROUGHOUT THE HOUSE, DUCTS OUTSIDE CONDITIONED SPACES, AND U-FACTORS FOR FENESTRATIONS. (IECC R401.3) (FOR ALL NEW WORK)

SECTION 0200 SITE

- 1. EXCAVATION: UNLESS NOTED OTHERWISE, ASSUMED BEARING CAPACITY FOR FOUNDATION DESIGN IS 3000 PSF. NOTIFY ARCHITECT IMMEDIATELY IF PROPER BEARING IS NOT EVIDENT. PROVIDE SOILS REPORT W/ FOOTING P.P. IF APPLIES
2. SITE CLEARING: DO NOT REMOVE ANY TREES OR VEGETATION OUTSIDE OF THE IMMEDIATE AREA OF THE HOUSE. OBTAIN OWNERS WRITTEN PERMISSION BEFORE REMOVING ANY TREE OVER 2" DIAMETER. STOCKPILE TOPSOIL AND REPLY TO FINISH GRADE AROUND HOUSE. FINISH GRADE SHALL BE +/- 1" OF GRADES SHOWN ON DRAWING. IF NO GRADES ARE INDICATED, GRADE FOR PROPER DRAINAGE AWAY FROM AND AROUND THE HOUSE. MAINTAIN GRADE MIN. 8" BELOW TOP OF FOUNDATION.
3. AREAS NOTED "UNEXCAVATED" AND ALL AREAS BELOW CONCRETE SLABS SHALL HAVE UNSUITABLE MATERIALS REMOVED AND BE PROPERLY COMPACTED BEFORE GRANULAR FILL IS PLACED AND COMPACTED
4. CALL "J.U.I.L.E." 1-800-892-0123 OR "DIGGER" 1-312-744-7000 AT LEAST 48 HOURS BEFORE YOU DIG. (TWO WORKING DAYS)
5. COMPLIANCE WITH UNDERGROUND AND OVERHEAD FACILITIES REGULATIONS MUST BE DONE BEFORE WORK BEGINS

SECTION 0300 CONCRETE

- 1. 4" DRAIN TILE: 4" PERFORATED PVC FOUNDATION DRAIN TILE ALL AROUND THE FOUNDATION CONNECTED TO SUMP PUMP. PROVIDE 2" MIN. WASHED STONE BED AND 12" MIN. STONE COVER. PROVIDE 4" DIA. VERTICAL PIPE FROM EACH WINDOW WELL DOWN TO DRAIN TILE. FILL W/ STONE. COVER DRAIN TILE WITH APPROVED FILTER MEMBRANE MATERIAL (DRAIN TILE IN A SOCK TYPE)
2. CONCRETE: USE 3000 PSI (AT 28 DAYS) COMPRESSIVE STRENGTH. TRANSIT MIXED CONCRETE; ASTM C-90 UNLESS NOTED OTHERWISE. USE AIR ENTRAINING ADMIXTURE FOR ALL FLATWORK EXPOSED TO WEATHER. PITCH ALL EXTERIOR CONCRETE SLABS AND WALKS 1/8" AWAY FROM THE HOUSE.
3. ALL FOOTINGS TO BEAR NO LESS THAN 42" BELOW FINISHED GRADE ON UNDISTURBED, INORGANIC SOIL, WITH AN ALLOWABLE BEARING CAPACITY OF 3,000 P.S.F.
4. ESCAPE LADDER IS REQUIRED FOR ESCAPE WINDOW. PROVIDE WINDOW WELL COVER ON ALL WINDOW WELLS.
5. SEALED SUMP PUMP PIT REQUIRED FOR PASSIVE RADON SYSTEM

SECTION 0400 MASONRY

- 1. MASONRY: USE GALVANIZED CORRUGATED BRICK TIES ATTACHED TO SHEATHING AND STUDS AT 16" O.C. HORIZ (NOT TO EXCEED 24") & 16" VERT. USE TYPE "M" MORTAR, NATURAL COLOR UNLESS INDICATED OTHERWISE ON THE DRAWING. PROVIDE COTTON ROPE LOOPED BETWEEN EACH TWO ADJACENT WEEP HOLES. LOCATE WEEP HOLES 24" O.C. USE PVC BASE FLASHING AND PVC FLASHING AT WINDOW SILLS AND HEADS

SECTION 0500 METALS

- 1. ANCHOR BOLT - ALL WOOD PLATES ANCHORED TO CONCRETE TO HAVE 1/2"x10" HOOKED BOLTS EMBEDDED 7", SPACED MAX. 6'-0" O.C. AND WITHIN 12" OF ALL CORNERS (MIN. 2 PER PLATE)
2. LALLY COLUMNS SPECIFIED ARE OUTSIDE DIAMETER OF STANDARD WEIGHT, UNLESS NOTED OTHERWISE. THEY SHALL BE FURNISHED WITH 6"x10"x3/4" BASE PLATES, AND 6"x10"x1/2" CAP PLATES, UNLESS NOTED. BASE PLATES AND CAP PLATES SHALL BE SECURED DIRECTLY TO FOUNDATIONS AND STEEL BEAMS WITH 2-1/2" DIAMETER BOLTS (MINIMUM)

SECTION 0600 WOOD

- 1. FRAMING LUMBER SPECIES AND BASE VALUES SHALL BE AS NOTED BELOW. U.N.O. RAFTERS, JOISTS, HEADERS AND BEAMS- #2 DOMESTIC HEM-FIR OR BETTER Fb= 850 PSI, Fv= 75 PSI, E= 1,300,000 PSI STUDES - 10'-0" AND LESS IN HEIGHT- STUD GRADE S-P-F OR BETTER Fb= 975 PSI, Fc= 600 PSI, E= 1,000,000 PSI GREATER THAN 10'-0" IN HEIGHT- #2 S-P-F OR BETTER Fb= 750 PSI, Fc= 975 PSI, E= 1,100,000 PSI POSTS AND TREATED LUMBER- #2 SOUTHERN PINE OR BETTER Fv= 90 PSI, Fc= 1,600,000 PSI NDS TABLES, Fv= 90 PSI, Fc= PER NDS TABLES, E= 1,600,000 PSI LAMINATED STRUCTURAL WOOD BEAMS Fv= 2,400 PSI, Fv= 165 PSI, E=1,800,000 ALL FRAMING MEMBERS DESIGNATED "M.L." OR "MICROLAM" SHALL BE LSE MICROLAM LVL BY TRUSS JOIST McGILLIAR OR BETTER Fv= 2,600 PSI, Fv= 285 PSI, E= 1,900,000
2. DOUBLE FRAMING MEMBERS (MINIMUM) AROUND OPENINGS IN ROOFS, FLOORS, CEILINGS, UNDER BATHTUBS AND SHOWERS AND UNDER PARTITIONS PARALLEL TO JOISTS.
3. ALL HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE
4. MINIMUM 2 CRIPPLE STUDS BELOW ALL OPENINGS 6'-0" AND WIDER
5. DESIGN LOADS AS FOLLOWS: CEILING/ATTIC DESIGN LIVE LOAD = 20 PSF ROOF DESIGN LIVE LOAD = 30 PSF WALL WIND LOAD, 0-20 FT. = 20 PSF FLOOR DESIGN LIVE LOAD = 40 PSF WALL WIND LOAD, 21-29 FT. = 25 PSF SLEEPING AREAS LIVE LOAD = 30 PSF WALL WIND LOAD, +30 FT. = 30 PSF
6. ALL WALL TOP PLATES ARE TO BE LAPPED AT ALL CORNERS
7. PROVIDE METAL JOISTS HANGERS AT STAIRS AND ALL FLUSH FRAMED MEMBERS
8. FIRESTOP SOFFITS AND TOP AND BOTTOM OF STAIR STRINGERS

- 9. PROVIDE MINIMUM 2" CLEARANCE BETWEEN FRAMING MEMBERS AND CHIMNEY
10. FIRESTOP CAVITIES BETWEEN CHIMNEY AND FRAMING LUMBER WITH NON-COMBUSTIBLE FILL
11. LUMBER: USE GRADED S4S LUMBER. ALL LUMBER SHALL BE KILN DRIED #2 OR BETTER. USE FHA APPROVED FRAMING DETAILS. USE MIN. TWO-2x12 HEADERS AT ALL OPENINGS UP TO 72" UNLESS NOTED OTHERWISE. USE HIP & VALLEY RAFTER NOM. 2" LARGER THAN RAFTER. USE 11 1/2" MICROLAM VALLEY FOR 2X12 RAFTERS. USE SAME DEPTH MICROLAM HIP & VALLEY FOR CATHEDRAL CEILINGS PROVIDE CROSS BRACING NOT TO EXCEED 8'-0" IN ALL FLOOR FRAMED W/ DIMENSIONAL LUMBER BRIDGING IS NOT REQUIRED FOR TJI'S SEE MANUFACTURER'S INSTRUCTIONS FOR CUTTING AND REINFORCING.
12. PLYWOOD: ALL PLYWOOD SHALL BE APA RATED-SEE PLAN FOR THICKNESS WATERBOARD- ALL WATER BOARD SHALL BE ORIENTED STRAND, NOT RANDOM. ROOF SHEATHING SHALL BE SPACED FOR EXPANSION WHEN INSTALLED PER APA STANDARDS TYPE 1.
13. EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING

SECTION 0700 THERMAL

- 1. GLAZING: ALL GLAZING WITHIN 24" OF A DOOR (IN CLOSED POSITION), OR WITHIN A DOOR, OR WITHIN 18" FROM FINISHED FLOOR OR WALKING SURFACE (WITHIN 36" OF GLAZING), SHALL BE TEMPERED GLASS OR OTHER APPROVED SAFETY GLAZING. MEET 2021 IRC R-308.4
2. ALL GLAZING TO FOLLOW 2021 INTERNATIONAL RESIDENTIAL CODE AS REQUIRED
3. PROVIDE TEMPERED SAFETY GLASS, AS NOTED, AT ALL WINDOWS OVER TUBS, AND AT WINDOWS WITH SILLS 18" OR LESS ABOVE THE FINISHED FLOOR
4. EXPOSED CRAFT PAPER OF INSULATION IN BASEMENT MUST HAVE A FLAME SPREAD OF 25 OR LESS
5. FLASH OVER EXTERIOR DOORS AND WINDOWS, UNDER SILLS AND AT JUNCTIONS WITH DISSIMILAR MATERIALS FLASHING AT TOP OF FOUNDATION TO CARRY 16" UP WALL ALL ROOFING COUNTER FLASHING MUST BE BENT AND CUT INTO THE BRICK MORTAR JOINTS
6. BEDROOM WINDOW EGRESS - WINDOW MANUFACTURER TO SUPPLY WINDOWS FOR SLEEPING ROOMS WHICH MEET THE IRC 2021 CODE EMERGENCY EGRESS REQUIREMENTS. MIN. OPENABLE AREA OF 5.7 SQ. FT. MIN. OPENABLE CLEAR HEIGHT OF 2'-0" AND A MIN. CLEAR WIDTH OF 1'-8" AND NOT MORE THAN 3'-4" ABOVE FINISHED FLOOR AND NO LESS THAN 24" ABOVE FINISHED FLOOR - 2021 IRC

SECTION 0800 DOORS

- 1. U.N.O., DOORS SHALL BE CENTERED IN OPENINGS OR MIN. 4" FROM FACE OF ADJACENT WALLS.

SECTION 0900 FINISHES

- 1. INTERIOR TRIM: FILL ALL VOIDS IN FRAMING OR AROUND PENETRATIONS IN CONSTRUCTION WITH EXPANDING FOAM. USE POLYSULFIDE, URETHANE, OR RUBBER SILICONE CAULK AT ALL OPENINGS, JOINTS, ETC. AS REQUIRED TO MAKE CONSTRUCTION WEATHER TIGHT.
2. FOR FLOOR TO CEILING HEIGHT REFER TO ELEVATIONS AND SECTIONS UNLESS OTHERWISE NOTED.
3. PROVIDE WATER RESISTIVE DRYWALL IN ALL BATHS, SHOWERS AND AREAS SUBJECT TO MOISTURE.

SECTION 1000 SPECIALTIES

- 1. STAIR NOTES - ALL STAIRS SHALL HAVE A MAX. RISE OF 7 3/4", A MIN. TREAD OF 10" CLEAR OF TREAD ABOVE, MINIMUM 1 1/8" NOSING, MINIMUM WIDTH OF 36" AND A CONT. CLEAR HEADROOM MEASURED VERTICALLY FROM FRONT NOSING OF TREAD TO A LINE PARALLEL WITH A STAIR RUN MIN. OF 6'-10"
2. HAND AND GUARD RAILS
A. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
B. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL
C. HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" TO 2" OR A NON-CIRCULAR CROSS WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4"
D. STAIR NOSINGS SHALL BE NO LESS THAN 1 1/8"
E. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR SHALL HAVE GUARDRAILS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
F. GUARDRAILS ON OPEN SIDES OF STAIRWAYS OR RAISED FLOOR AREAS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER.
G. THE TRIANGULAR OPENINGS FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY WILL NOT ALLOW AN OBJECT THE SIZE OF A 4" SPHERE PASS THROUGH - 36" MIN. HEIGHT
3. ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.

SECTION 1500 MECHANICAL & PLUMBING

- 1. PLUMBING: USE HARD COPPER (TYPE "L" ABOVE GRADE OR "K" BELOW GRADE FOR ALL WATER SUPPLY. USE 4" SCHEDULE 40 CAST IRON BELOW GRADE FOR WASTE. USE SCHED. 40 PVC WASTE PIPING ABOVE GRADE. PROPERLY VENT ALL WASTE LINES, DO NOT USE WET VENTS. PROVIDE HOSE BIBBS WHERE SHOWN OR WHERE DIRECTED BY THE OWNER. PROVIDE SUMP, PUMP AND METAL LID FOR FOUNDATION DRAIN. PROVIDE HIGH WATER ALARM IN SUMP. PROVIDE INSTALLATION OF BATTERY BACK-UP FOR SUMP PUMP IF OWNER SUPPLIES EQUIPMENT. USE NON-LEAD SOLDER. CONNECT BASEMENT FLOOR DRAIN TO SANITARY SEWER.
2. VENT DRYERS AND EXHAUST FANS DIRECTLY TO EXTERIOR VIA RIGID METAL DUCT WITHOUT SHEET SCREWS
3. PROVIDE ANTI-SCAD VALVES IN ALL TUBS, SHOWERS AND TUB/SHOWER COMBINATIONS. SET TO DELIVER MAX. 115 DEGREES. DO NOT USE HOT WATER HEATER TO SET VALVES.
4. PROVIDE ACCESS PANEL FOR WHIRLPOOL MOTOR REPAIRS, 18" H x 24" W.
5. PROVIDE GRAY BOX OR 2" STAND PIPE FOR WATER DISCHARGE AND FLOOR DRAIN IN LAUNDRY AREA.
6. PROVIDE FULL 2" WASTE OPENINGS FOR KITCHEN SINK W/ ACCESSIBLE FULL 2" OPENING FOR CLEAN OUT UNDER SINK.
7. ALL FLOORDRAINS MUST BE TRAPPED AND VENTED. SEND TO EJECTOR PIT WHEN BELOW GRADE, SEND TO SEWER WHEN ABOVE GRADE.
8. SUMP PIT MUST BE 2" ABOVE THE FINISHED FLOOR.
9. COMBUSTION AIR FROM OUTDOOR SHALL BE REQUIRED IF THE SPACE WHERE COMBUSTION APPLIANCES ARE LOCATED IS ENCLOSED OR OF UNUSUALLY TIGHT CONSTRUCTION

SECTION 1600 ELECTRICAL - 2020 NEC / 2021 IRC

- 1. ELECTRICAL: 200 AMP 120/240 VOLT SERVICE (VERIFY). USE CONDUIT AND CONDUCTORS SIZED PER CURRENT NATIONAL ELECTRICAL CODE UNLESS NOTED OTHERWISE. PROVIDE SWITCHED CIRCUIT IN 1/2 OF EACH OUTLET IN EVERY BEDROOM. PROVIDE JUNCTION BOX AND/OR OUTLET FOR GARBAGE DISPOSAL, DISHWASHER, OVERHEAD DOW OPERATOR(S), CEILING FANS, ETC. PROVIDE GROUND FAULT INTERRUPTING CIRCUITS AT ALL OUTLETS WITHIN BATHROOMS KITCHEN, BASEMENT ETC. SINKS. ALSO G.F.I. AT EXTERIOR & GARAGE OUTLETS. PER MUNICIPAL CODE-EXTERIOR MAIN DISCONNECT/OVER CURRENT DEVICE
2. FOLLOW THE NATIONAL ELECTRIC CODE- GROUND FAULT INTERRUPT = ALL OUTLETS
3. USE SINGLE DEDICATED OUTLETS FOR SUMP, EJECTOR AND FURNACE.
4. NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL
5. DUAL-VOLTAGE U.L.A. SMOKE DETECTORS WIRED IN SERIES WITH BATTERY BACKUP ON EACH LEVEL AND IN EACH BEDROOM & CO2 DETECTORS @ 15'-0" FROM ALL BEDROOMS
6. LIGHT FIXTURES IN ALL CLOSETS
a. LOCATION-A FIXTURE IN A CLOSET SHALL BE PERMITTED TO BE INSTALLED:
1. ON THE WALL ABOVE THE CLOSET DOOR, PROVIDED THE CLEARANCE BETWEEN THE FIXTURE AND A STORAGE AREA WHERE COMBUSTIBLE MATERIAL MAY BE SHARED WITHIN THE CLOSET IS NOT LESS THAN 18" OR...
2. ON THE CEILING OVER AN AREA WHICH IS UNOBSTRUCTED TO THE FLOOR, MAINTAINING AN 18" CLEARANCE HORIZONTALLY BETWEEN THE FIXTURE AND A STORAGE AREA WHERE COMBUSTIBLE MATERIAL MAY BE STORED WITHIN THE CLOSET
b. FLUSH RECESSED FIXTURE WITH A SOLID LENS OR A CEILING FLOURESCENT FIXTURE SHALL BE PERMITTED TO BE INSTALLED, PROVIDED THERE IS A 6" CLEARANCE, HORIZONTALLY BETWEEN THE FIXTURE AND STORAGE AREA.
B. PENDANTS SHALL NOT BE INSTALLED IN CLOTHES CLOSETS.
7. CEILING LIGHT FIXTURES IN HABITABLE ROOMS SHALL HAVE FAN RATED BOXES

- 1. ATTIC ACCESS PANELS MUST BE INSULATED TO MATCH ATTIC AND MUST BE WEATHERSTRIPPED (SECTION R402.2.5.1)
2. SECTION AND TABLE R402.5.1.1 THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS INDICATED IN TABLE R402.5.1.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE NAUFACTURER'S INSTRUCTIONS AND THE CRITERIA IN TABLE R402.5.1.1, AS APPLICABLE TO THE METHOD OF CONSTRUCTION. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED THIRD PARTY SHALL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.
A. AIR BARRIER AND THERMAL BARRIER
B. CEILING / ATTIC
C. WALLS
D. KNEE WALL
E. WINDOWS, SKYLIGHTS AND DOORS
F. RIM JOISTS
G. FLOOR (INCLUDING ABOVE GARAGE AND CANTILEVER FLOORS)
H. BASEMENTS, CRAWL SPACE AND SLAB FOUNDATIONS
I. SHAFTS, PENETRATIONS
J. NARROW CAVITIES
K. GARAGE SEPARATION
L. RECESSED LIGHTING
M. PLUMBING AND WIRING
N. SHOWER, TUBS AND FIREPLACES, ADJACENT TO BUILDING THERMAL ENVELOPE
O. ELECTRICAL, COMMUNICATION AND OTHER EQUIPMENT BOXES, HOUSINGS, AND ENCLOSURES
P. HVAC REGISTER BOOTS
Q. CONCEALED SPRINKLERS
R. COMMON WALLS OR DOUBLE WALLS SEPERATING ATTACHED SINGLE-FAMILY DWELLINGS OR TOWNHOUSES

- 3. NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT-FITTING FLUE DAMPERS OR DOOR, AND OUTDOOR COMBUSTION AIR, WHERE USING TIGHT-FITTING DOORS ON FACTORY-BUILT FIREPLACES LISTED AND LABELED IN ACCORDANCE WITH UL 127, THE DOORS SHALL BE TESTED AND LISTED FOR THE FIREPLACE. (SECTION R402.5.2)
4. WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS LIMITED TO NO MORE THAN 0.3 CFM PER SQUARE FOOT AIR LEAKAGE. SWING DOORS LIMITED TO NO MORE THAN 0.5 CFM PER SQUARE FOOT. (SECTION 402.5.3)
5. RECESSED LIGHT FIXTURES INSTALLED IN BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES AND SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A PRESSURE DIFFERENTIAL OF 1.57 PSF (75PA). RECESSED LIGHT FIXTURES SHALL BE SEALED WITH A GASKET OR CAULKED BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING. (SECTION R402.5.4)
6. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM. AT LEAST ONE THERMOSTAT SHALL BE PROGRAMMABLE. (SECTION R403.1.1)
7. DUCTWORK LOCATED OUTSIDE CONDITIONED SPACE SHALL BE INSULATED TO AND R-VALUE OF NOT LESS THAN R-8 FOR DUCTS 3 INCHES IN DIAMETER AND LARGER AND NOT LESS THAN R-6 FOR DUCTS SMALLER THAN 3 INCHES IN DIA. DUCTWORK BURIED BENEATH A BUILDING SHALL BE INSULATED AS REQUIRED PER THIS SECTION OR HAVE AN EQUIVALENT THERMAL DISTRIBUTION EFFICIENCY. UNDERGROUND DUCTWORK URILIZING THE THERMAL DISTRIBUTION EFFICIENCY METHOD SHALL BE LISTED AND LABELED TO INDICATE THE R-VALUE EQUIVALENCY. (SECTION R403.3.3)
8. DUCTWORK, AIR-HANDLING UNITS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH THE INTERNATIONAL MECHANICAL CODE OR THE INTERNATIONAL RESIDENTIAL CODE, AS APPLICABLE (SECTION R403.3.6)
9. BUILDING FRAMING CAVITIES SHALL NOT BE USED DUCTWORK OR PLENUMS. (SECTION R403.3.2)

NOTE: REFER TO TABLE R402.5.1.1. FOR THE INSTALLATION CRITERIA FOR THE ABOVE BUILDING COMPONENTS

- 10. MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 OR LESS THAN 55 DEGREES FAHRENHEIT SHALL BE INSULATED TO A MINIMUM OF R-3 (SECTION 403.4)
11. A READY ACCESSIBLE MANUAL SWITCH SHALL BE PROVIDED THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (SECTION 403.5.1.1) INSULATION FOR SERVICE HOT WATER PIPING SHALL COMPLY WITH TABLE R405.2. (SECTION 403.5.2)
12. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE. (SECTION R403.6)
13. ALL PERMANENTLY INSTALLED LUMINAIRES SHALL BE CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 45 LUMENS PER WATT OR SHALL CONTAIN LAMPS CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 65 LUMANS PER WATT. EXCEPT FOR APPLIANCE LAMPS, ANTIMICROBIAL LIGHTING USED FOR THE SOLE PURPOSE OF DISINFECTING, GENERAL SERVICE LAMPS COMPLYING WITH DOE 10 CFR, PART 430.32 AND LUMINAIRES WITH A RATED ELECTRIC INPUT OF NOT GREATER THAN 3.0 WATTS. (SECTION R404.1)
14. SECTION R402.5.1.2 TESTING: THE BUILDING OR EACH DWELLING UNIT OR SLEEPING UNIT IN THE BUILDING SHALL BE TESTED FOR AIR LEAKAGE. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ANSI/RESNET/ICC 380, ASTM E779, ASTM E1827 OR ASTM E3158 AND REPORTED AT A PRESSURE DIFFERENTIAL OF 0.2 INCH WATER GAUGE (5.0 PA.). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.
15. R406.4 ENERGY RATING INDEX: THE ENERGY RATING INDEX (ERI) SHALL BE DETERMINED IN ACCORDANCE WITH RESNET/ICC 301. THE MECHANICAL VENTILATION RATES USED FOR THE PURPOSE OF DETERMINING THE ERI SHALL NOT BE CONSTRUCTED TO ESTABLISH MINIMUM VENTILATION REQUIREMENTS FOR COMPLIANCE WITH THIS CODE.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

Table with 10 columns: CLIMATE ZONE, VERTICAL FENESTRATION U-FACTOR, SKYLIGHT U-FACTOR, CEILING R-VALUE, INSUL. ENTIRELY ABOVE ROOF DECK, WD FRAME WALL R-VALUE, MASS WALL R-VALUE, FLOOR R-VALUE, BSMNT WALL R-VALUE, UNHEATED SLAB R-VALUE & DEPTH, HEATED SLAB R-VALUE & DEPTH, CRAWL SPACE WALL R-VALUE. Includes values for 5 AND MARINE 4.

- 1. A READY ACCESSIBLE MANUAL SWITCH SHALL BE PROVIDED THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (SECTION 403.5.1.1) INSULATION FOR SERVICE HOT WATER PIPING SHALL COMPLY WITH TABLE R405.2. (SECTION 403.5.2)
2. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE. (SECTION R403.6)
3. ALL PERMANENTLY INSTALLED LUMINAIRES SHALL BE CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 45 LUMENS PER WATT OR SHALL CONTAIN LAMPS CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 65 LUMANS PER WATT. EXCEPT FOR APPLIANCE LAMPS, ANTIMICROBIAL LIGHTING USED FOR THE SOLE PURPOSE OF DISINFECTING, GENERAL SERVICE LAMPS COMPLYING WITH DOE 10 CFR, PART 430.32 AND LUMINAIRES WITH A RATED ELECTRIC INPUT OF NOT GREATER THAN 3.0 WATTS. (SECTION R404.1)
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ENERGY USED TO RECHARGE OR REFUEL A VEHICLE USED FOR TRANSPORTATION ON ROADS THAT ARE NOT ON THE BUILDING SITE SHALL NOT BE INCLUDED IN THE ERI REFERENCE DESIGN OR THE RATED DESIGN.

- 16. PER SECTION R402.2.2 OF THE 2024 IECC, INSULATION IN VAULTED CEILINGS MAY BE REDUCED TO R-38 PROVIDED THAT THE AREA REDUCED INSULATION DOES NOT EXCEED 500 S.F. OR 20% OF THE TOTAL INSULATED AREA WHICHEVER IS LESS

Village of Glen Ellyn

BUILDING DIVISION
535 Duane Street
Glen Ellyn, IL 60137
Phone: (630) 469-5000

THESE DRAWINGS AND ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF GLEN ELLYN CODES AND AMENDMENTS LISTED BELOW:

- 2018 International Building code
2018 International Residential Code
2018 International Mechanical Code
2017 National Electrical Code
2024 International Energy Conservation Code
2014 Illinois State Plumbing Code
2018 International Fire Code
2018 International Property Maintenance Code

PRESCRIPTIVE METHOD TO BE USED

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

Table with 10 columns: CLIMATE ZONE, VERTICAL FENESTRATION U-FACTOR, SKYLIGHT U-FACTOR, CEILING R-VALUE, INSUL. ENTIRELY ABOVE ROOF DECK, WD FRAME WALL R-VALUE, MASS WALL R-VALUE, FLOOR R-VALUE, BSMNT WALL R-VALUE, UNHEATED SLAB R-VALUE & DEPTH, HEATED SLAB R-VALUE & DEPTH, CRAWL SPACE WALL R-VALUE. Includes values for 5 AND MARINE 4.

- 1. A READY ACCESSIBLE MANUAL SWITCH SHALL BE PROVIDED THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (SECTION 403.5.1.1) INSULATION FOR SERVICE HOT WATER PIPING SHALL COMPLY WITH TABLE R405.2. (SECTION 403.5.2)
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3. ALL PERMANENTLY INSTALLED LUMINAIRES SHALL BE CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 45 LUMENS PER WATT OR SHALL CONTAIN LAMPS CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 65 LUMANS PER WATT. EXCEPT FOR APPLIANCE LAMPS, ANTIMICROBIAL LIGHTING USED FOR THE SOLE PURPOSE OF DISINFECTING, GENERAL SERVICE LAMPS COMPLYING WITH DOE 10 CFR, PART 430.32 AND LUMINAIRES WITH A RATED ELECTRIC INPUT OF NOT GREATER THAN 3.0 WATTS. (SECTION R404.1)
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5. R406.4 ENERGY RATING INDEX: THE ENERGY RATING INDEX (ERI) SHALL BE DETERMINED IN ACCORDANCE WITH RESNET/ICC 301. THE MECHANICAL VENTILATION RATES USED FOR THE PURPOSE OF DETERMINING THE ERI SHALL NOT BE CONSTRUCTED TO ESTABLISH MINIMUM VENTILATION REQUIREMENTS FOR COMPLIANCE WITH THIS CODE.

ENERGY USED TO RECHARGE OR REFUEL A VEHICLE USED FOR TRANSPORTATION ON ROADS THAT ARE NOT ON THE BUILDING SITE SHALL NOT BE INCLUDED IN THE ERI REFERENCE DESIGN OR THE RATED DESIGN.

- 16. PER SECTION R402.2.2 OF THE 2024 IECC, INSULATION IN VAULTED CEILINGS MAY BE REDUCED TO R-38 PROVIDED THAT THE AREA REDUCED INSULATION DOES NOT EXCEED 500 S.F. OR 20% OF THE TOTAL INSULATED AREA WHICHEVER IS LESS

DESIGN ELEMENTS

- GROUND SNOW LOAD - 25
WIND SPEED - 107
TOPOGRAPHIC EFFECTS - NO
SPECIAL WIND REGION - NO
WINDBORNE DEBRIS ZONE - NO
SEISMIC DESIGN CATEGORY - A
SUBJECT TO DAMAGE FROM WEATHERING - SEVERE
FROST LINE DEPTH - 42 INCHES BELOW GRADE
TERMITE - MODERATE TO HEAVY
WINTER DESIGN TEMPERATURE - MINUS 5 DEC F
ICE BARRIER UNDERLAYMENT REQUIRED - YES
FLOOD HAZARDS FEBRUARY 12, 1975
AIR FREEZING INDEX -1000-2000
MEAN ANNUAL TEMP 45-50 F

DRAWING INDEX

Table with 2 columns: DWG#, DRAWING TITLE. Includes Title sheet, Exist. Foundation, First Floor & Elev., Proposed Foundation & First Floor, Proposed Elevations & Roof Plan, Foundation & First Floor Electrical, Sections and Details.

DESIGN CRITERIA

Table with 3 columns: FLOOR, WALL, CEILING, ROOF, EXIT DECK, BALCONY. Includes values for LL, DL, PLF, OR ACTUAL LOAD, LL / 10 DL, PLF OR ACTUAL LOAD, LL / 10 DL, LL / 15 DL, LL / 10 DL, LL / 10 DL.

DESIGN CRITERIA

Table with 3 columns: FLOOR, WALL, CEILING, ROOF, EXIT DECK, BALCONY. Includes values for LL, DL, PLF, OR ACTUAL LOAD, LL / 10 DL, PLF OR ACTUAL LOAD, LL / 10 DL, LL / 15 DL, LL / 10 DL, LL / 10 DL.

- 1. A READY ACCESSIBLE MANUAL SWITCH SHALL BE PROVIDED THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (SECTION 403.5.1.1) INSULATION FOR SERVICE HOT WATER PIPING SHALL COMPLY WITH TABLE R405.2. (SECTION 403.5.2)
2. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE. (SECTION R403.6)
3. ALL PERMANENTLY INSTALLED LUMINAIRES SHALL BE CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 45 LUMENS PER WATT OR SHALL CONTAIN LAMPS CAPABLE OF OPERATION WITH AN EFFICACY OF NOT LESS THAN 65 LUMANS PER WATT. EXCEPT FOR APPLIANCE LAMPS, ANTIMICROBIAL LIGHTING USED FOR THE SOLE PURPOSE OF DISINFECTING, GENERAL SERVICE LAMPS COMPLYING WITH DOE 10 CFR, PART 430.32 AND LUMINAIRES WITH A RATED ELECTRIC INPUT OF NOT GREATER THAN 3.0 WATTS. (SECTION R404.1)
4. SECTION R402.5.1.2 TESTING: THE BUILDING OR EACH DWELLING UNIT OR SLEEPING UNIT IN THE BUILDING SHALL BE TESTED FOR AIR LEAKAGE. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ANSI/RESNET/ICC 380, ASTM E779, ASTM E1827 OR ASTM E3158 AND REPORTED AT A PRESSURE DIFFERENTIAL OF 0.2 INCH WATER GAUGE (5.0 PA.). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.
5. R406.4 ENERGY RATING INDEX: THE ENERGY RATING INDEX (ERI) SHALL BE DETERMINED IN ACCORDANCE WITH RESNET/ICC 301. THE MECHANICAL VENTILATION RATES USED FOR THE PURPOSE OF DETERMINING THE ERI SHALL NOT BE CONSTRUCTED TO ESTABLISH MINIMUM VENTILATION REQUIREMENTS FOR COMPLIANCE WITH THIS CODE.

ENERGY USED TO RECHARGE OR REFUEL A VEHICLE USED FOR TRANSPORTATION ON ROADS THAT ARE NOT ON THE BUILDING SITE SHALL NOT BE INCLUDED IN THE ERI REFERENCE DESIGN OR THE RATED DESIGN.

- 16. PER SECTION R402.2.2 OF THE 2024 IECC, INSULATION IN VAULTED CEILINGS MAY BE REDUCED TO R-38 PROVIDED THAT THE AREA REDUCED INSULATION DOES NOT EXCEED 500 S.F. OR 20% OF THE TOTAL INSULATED AREA WHICHEVER IS LESS

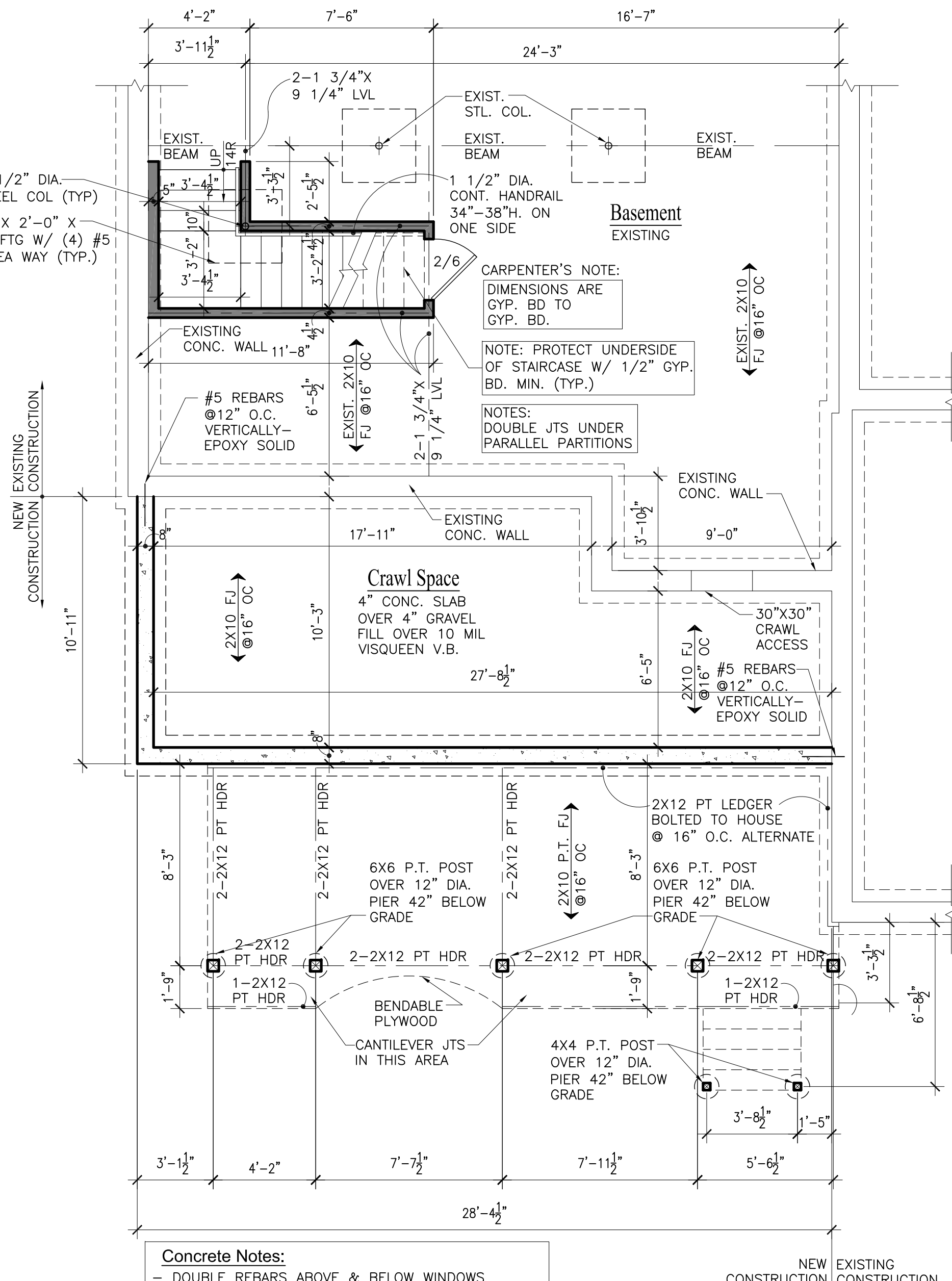
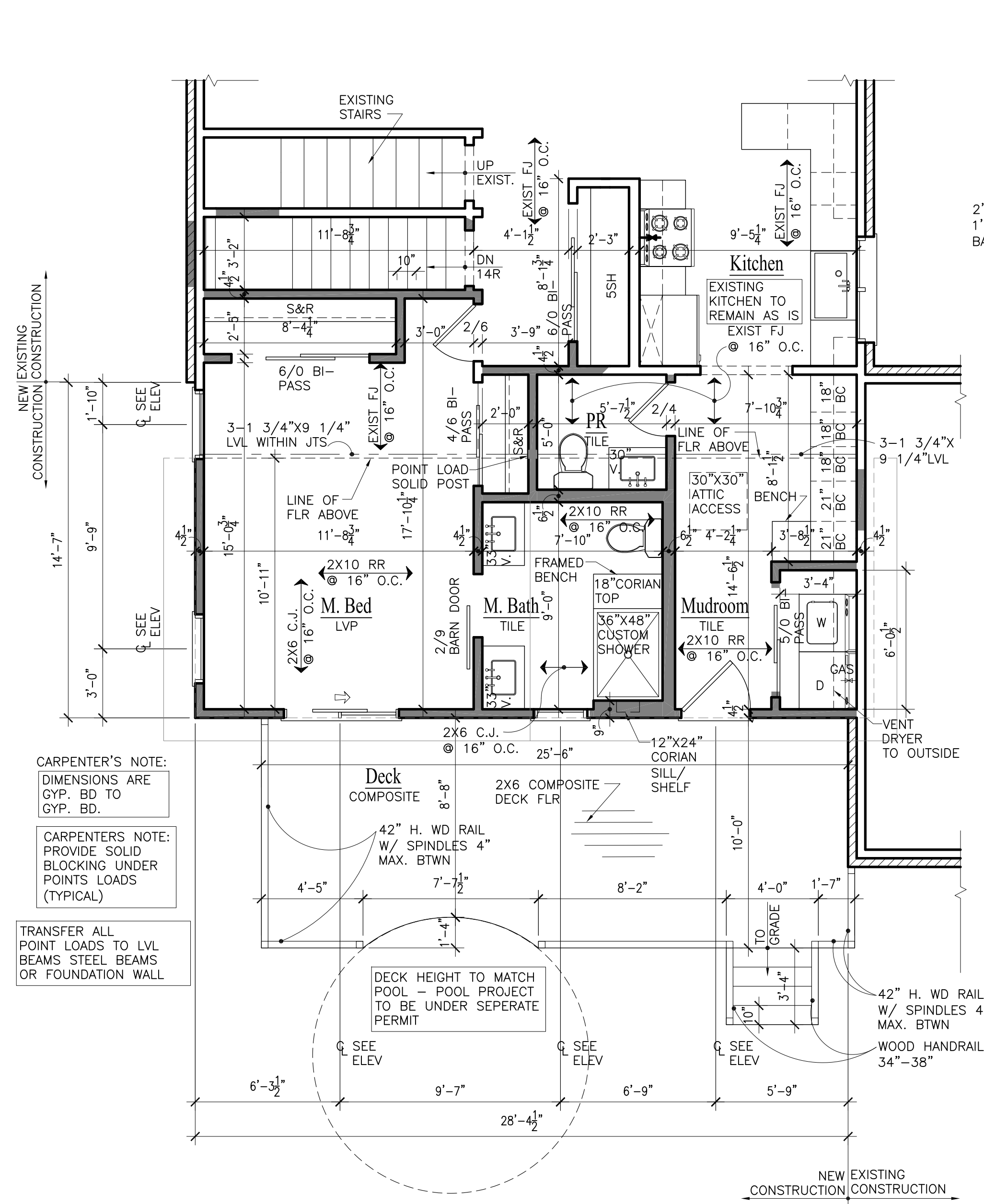
DESIGN ELEMENTS

- GROUND SNOW LOAD - 25
WIND SPEED - 107
TOPOGRAPHIC EFFECTS - NO
SPECIAL WIND REGION - NO
WINDBORNE DEBRIS ZONE - NO
SEISMIC DESIGN CATEGORY - A
SUBJECT TO DAMAGE FROM WEATHERING - SEVERE
FROST LINE DEPTH - 42 INCHES BELOW GRADE
TERMITE - MODERATE TO HEAVY
WINTER DESIGN TEMPERATURE - MINUS 5 DEC F
ICE BARRIER UNDERLAYMENT REQUIRED - YES
FLOOD HAZARDS FEBRUARY 12, 1975
AIR FREEZING INDEX -1000-2000
MEAN ANNUAL TEMP 45-50 F

ISSUED DATE

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FOR BID
FOR CONST.

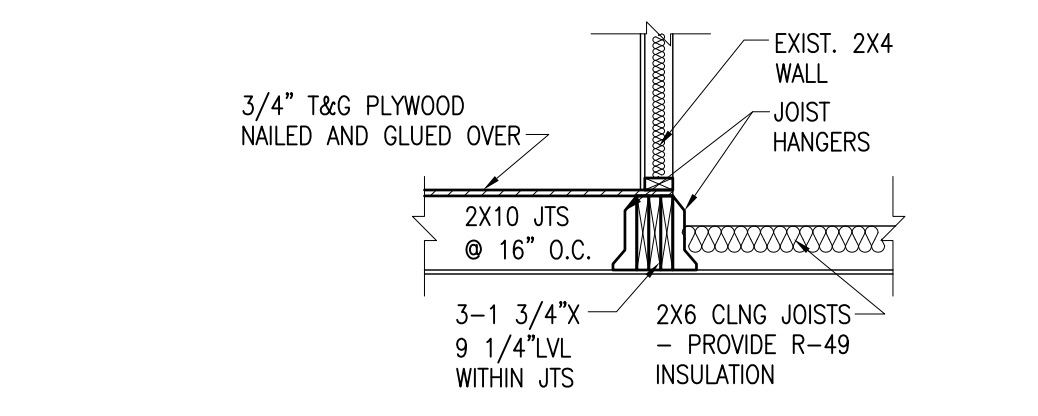
REVISIONS DATE



Concrete Notes:
 - DOUBLE REBAR ABOVE & BELOW WINDOWS
 - RUBBER GASKET IN FOOTING @ FIREPLACE OFFSET
 - VISQUEEN V.B. UNDER BASEMENT FLOOR
 - DOUBLE JOISTS UNDER ALL PARRALLEL PARTITIONS
 - 3 1/2" DIA STEEL COLUMNS
 - 3000 PSF TYPICAL AT ALL FOOTINGS
 - AFTER FINAL GRADING INFORMATION IS AVAILABLE
 - GC TO VERIFY THAT ALL FOOTING ARE 42" BELOW GRADE - DROP FOUNDATION AS REQUIRED

CONSTRUCTION LEGEND

- DENOTES EXISTING WALL CONSTRUCTION
- DENOTES NEW WALL CONSTRUCTION 2X4 OR 2X6 WD STUDS @ 16" O.C. WITH 5/8" GYP. BD. EA SIDE



GENERAL NOTES:

- FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING OR TJI 360 SERIES OR AS NOTED IN PLANS.
- FOOTING SIZES REQ'D: 8" x 16" SUPPORTING FRAME 10" x 20" SUPPORTING BRICK VENEER DESIGN SOIL BEARING CAPACITY = 3000 PSF
- PROVIDE 1/2" OSB CORNER BRACING - OSB BRACINGS AT 2 STORY HIGH WALLS (OPEN TO BELOW)
- FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION
- ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- DOUBLE ALL JOIST UNDER WHIRLPOOL
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 48" BELOW GRADE
- STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
- ALL GLAZING TO FOLLOW R308 OF THE 2018 IRC AS REQUIRED. REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 10' OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
- ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2017 NEC
- DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM - VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- A FIRE RATED DOOR NOT LESS THAN 1 3/8" THICK SOLID CORE AND DOOR CLOSER BETWEEN THE GARAGE AND THE HOUSE
- CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD REQUIREMENTS
- HEARTH EXTENSION - MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING - IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.
- EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2018 IRC
- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- ARC-FAULT INTERRUPTER DISCONNECT (AFIC) IS REQUIRED PER 2018 IRC E3902.11 OR 2017 NEC ARTICLE 210.12
- ALL OUTLETS IN GARAGE, BATHROOMS, KITCHEN, LAUNDRY ROOM, DISHWASHER, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLETS. - ALL RECEPTACLES NEED TO BE READY ACCESSIBLE
- ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR.
- INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, IN THE HALL WITHIN 15' OF BEDROOMS AND AT EACH BEDROOM. SMOKE DETECTORS SHALL BE HARD WIRED IN SERIES FOR SIMULTANEOUS ACTION AND SHALL HAVE A BATTERY BACKUP
- ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2 x 6 STUDS IN LIEU OF 2 x 4 STUDS.
- ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
- FLOOR JOISTS SHALL HAVE "X" TYPE OR SOLID BRIDGING AT SEVEN FEET ZERO INCHES (7'0") ON CENTER, MAXIMUM
- THE HANDRAIL FOR THE STAIRS TO THE SECOND FLOOR SHALL RUN THE FULL LENGTH OF THE STAIRS AND RETURN TO THE WALL OR POST AT THE TOP AND BOTTOM OF THE RUN, SECTION R311.7.2
- FOR ALL EXTERIOR CONCRETE STOOPS, PATIO SLAB AND GARAGE SLABS, THE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS, WITH BETWEEN 5 PERCENT (5%) AND SEVEN (7%) AIR ENTRAINMENT
- ATTIC ACCESS DOORS OR HATCHES MUST BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION OF THE SURROUNDING SURFACES. (IECC R402.2.4)
- ALL FASTENERS AND CONNECTORS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED, SILICON BRONZE, STAINLESS, OR EQUAL IN CORROSION RESISTANCE. THIS APPLIES TO ALL ITEMS LESS THAN 1/2" IN THICKNESS OR DIAMETER (INCLUDING NAILS AND SCREWS)
- THE INSTALLATION OF A GENERATOR WILL REQUIRE A SEPARATE PERMIT
- SETBACK DIMENSIONS ARE MEASURED FROM THE PROPERTY LINE TO THE EAVE OF THE BUILDING (EXCLUDING GUTTERS)

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN NON-VAULTED
2 x 12	16" O.C.	19'-11"	21'-1"
2 x 10	16" O.C.	17'-2"	18'-2"
2 x 10	12" O.C.	19'-10"	21'-0"
2 x 8	16" O.C.	14'-0"	14'-11"

ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL RAFTERS SHALL BE #2 HEM-FIR (E = 1,200,000 MIN.) #2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

CEILING JOIST SCHEDULE

JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	6'-6"
2 x 6	AT 16" O.C.	12'-0"
2 x 8	AT 16" O.C.	16'-0"
2 x 8	AT 12" O.C.	18'-6"
2 x 10	AT 16" O.C.	19'-7"
2 x 10	AT 12" O.C.	22'-7"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM-FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 18" O.C.	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 18" O.C.	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



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E-mail: alberto@agamadesigns.com

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FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	

PROJECT: GLEN ELLYN ADDITION
684 HIGHLAND AVE.
GLEN ELLYN, IL 60137
CLIENT: AMI KITCHEN & BATH
PHONE: (630) 933-9323

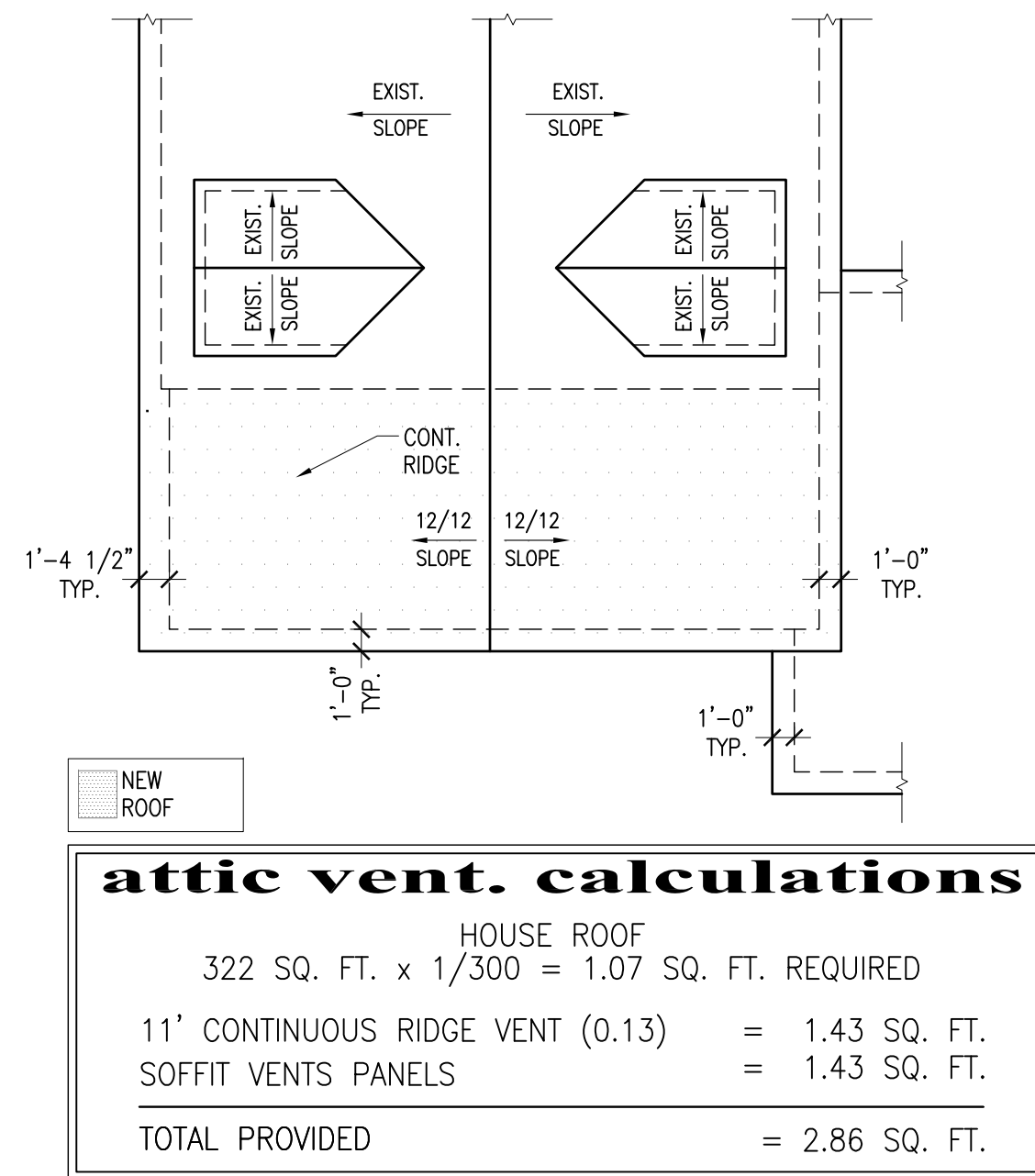
JOB NO. 25-124
DATE 10-22-25
FILE
PLOT SCALE 1:1

OWNER APPROVAL

Signature _____
Date _____

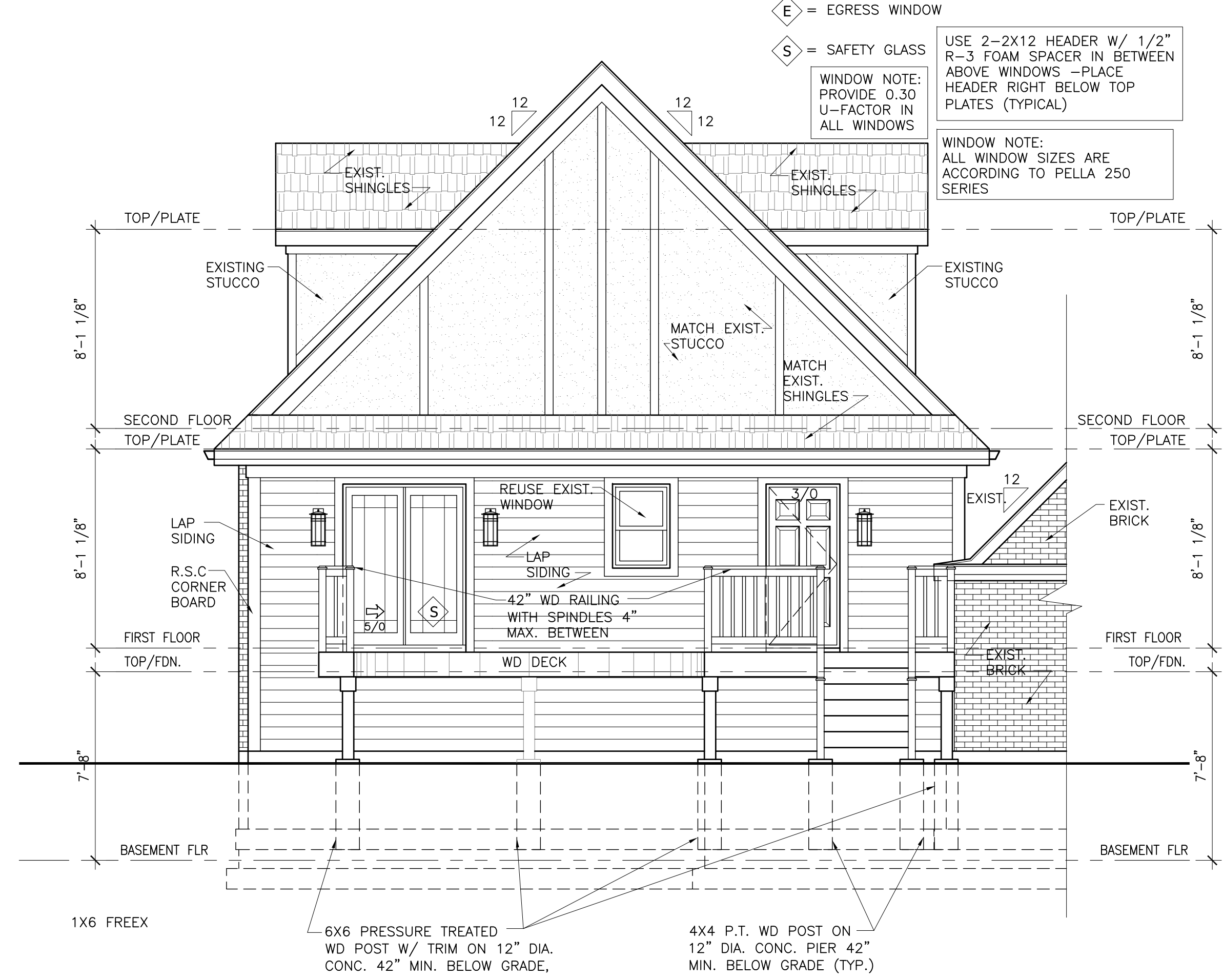
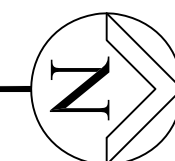
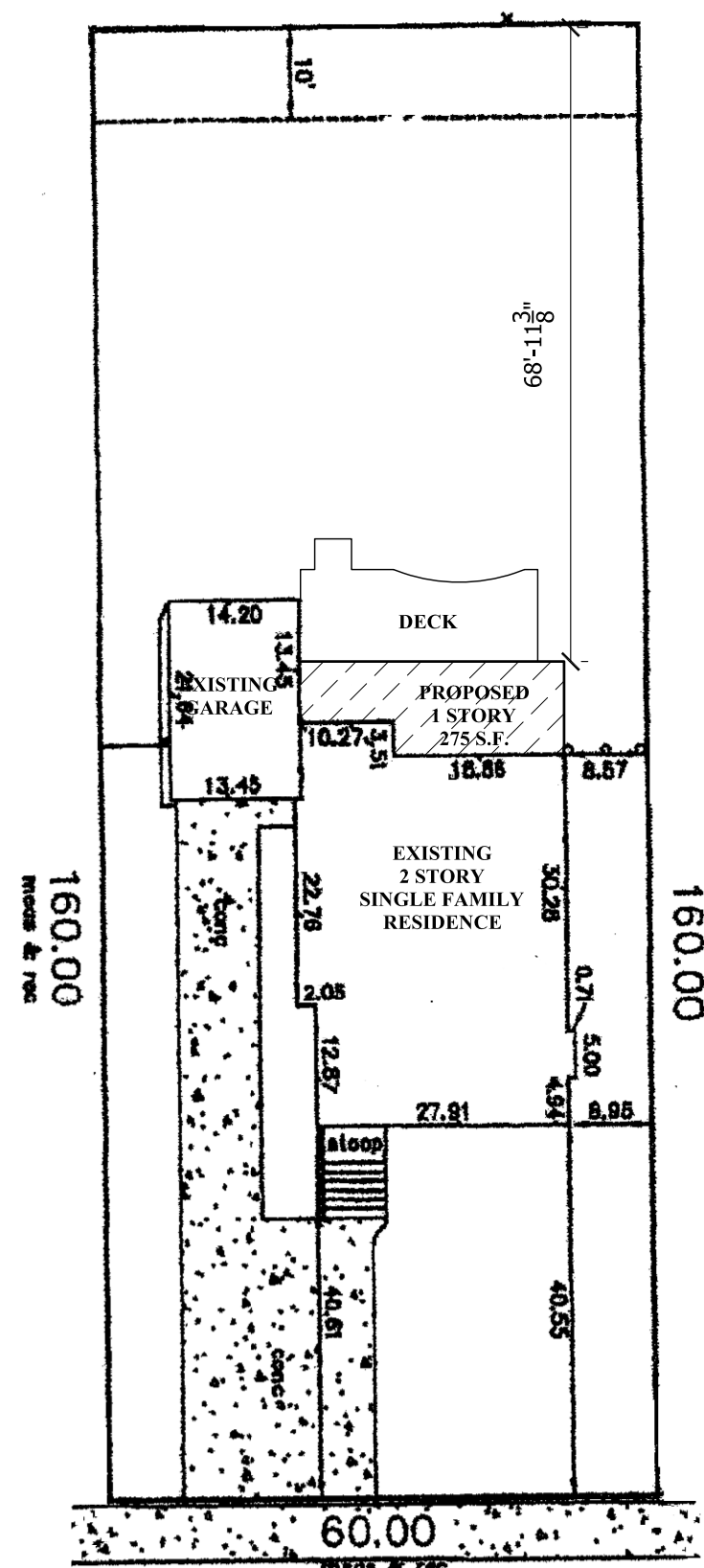
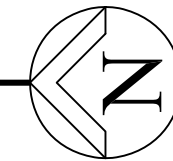
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FIRST FLOOR PLAN &
FIRST FLOOR PLAN

SHEET NUMBER
A2



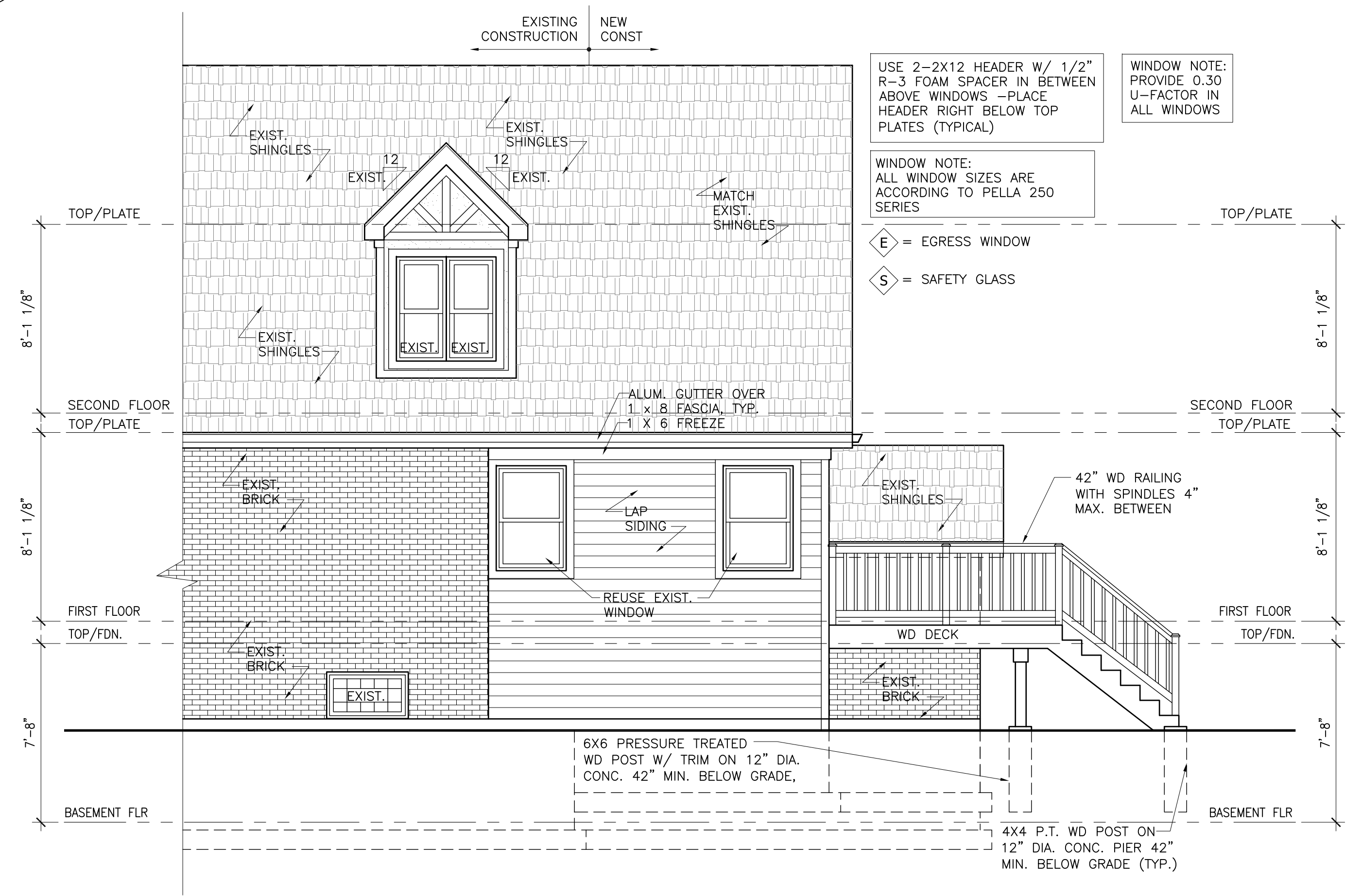
ROOF PLAN

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



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Yorkville, Illinois 60560
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FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: **GLEN ELLYN ADDITION**
884 HIGHLAND AVE.
GLEN ELLYN, IL 60137

CLIENT: AM KITCHEN & BATH
PHONE: (630) 933-9323

JOB NO. 25-124
DATE 10-22-25
FILE
PLOT SCALE 1:1

OWNER APPROVAL

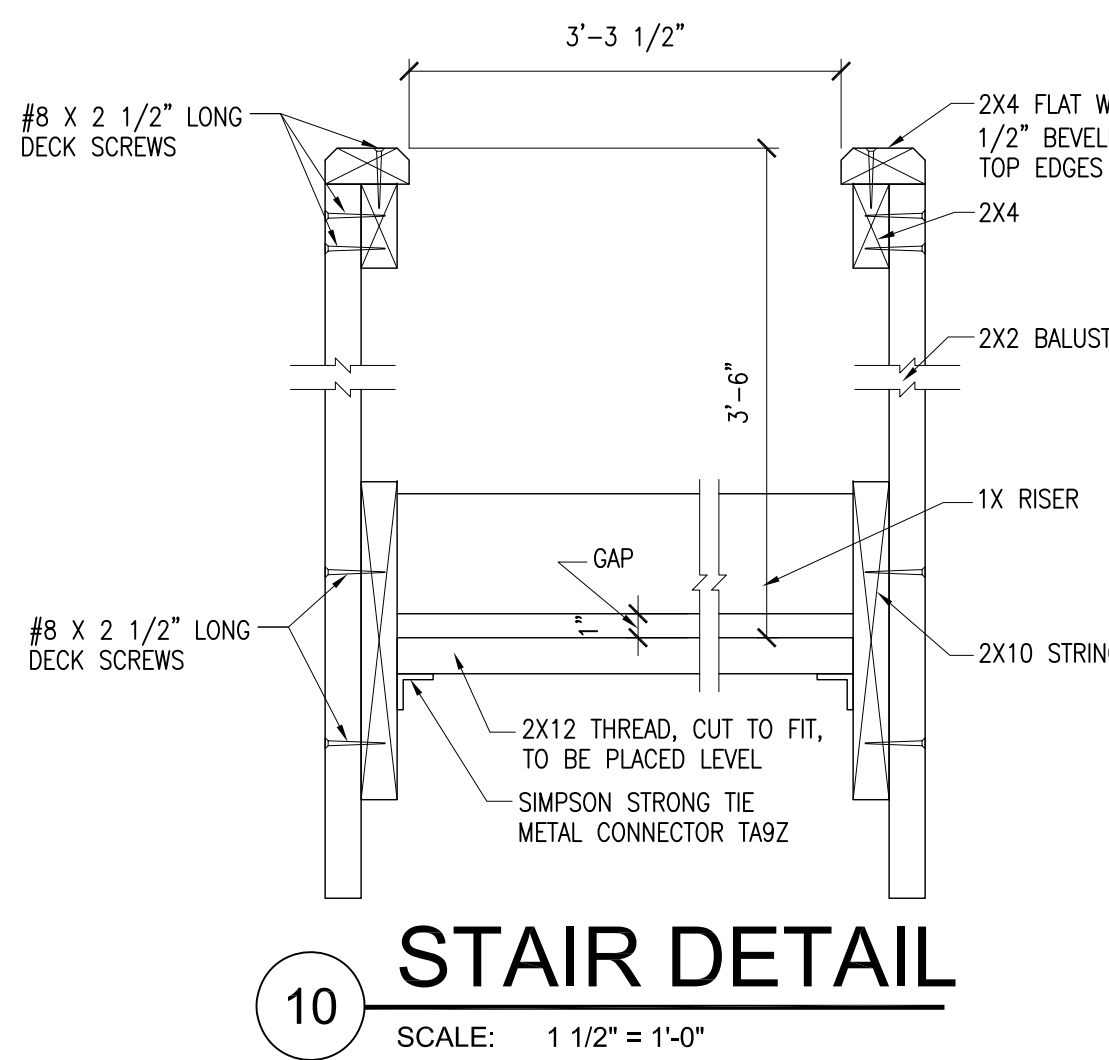
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Date _____

SHEET TITLE
ELEVATIONS &
ROOF PLAN

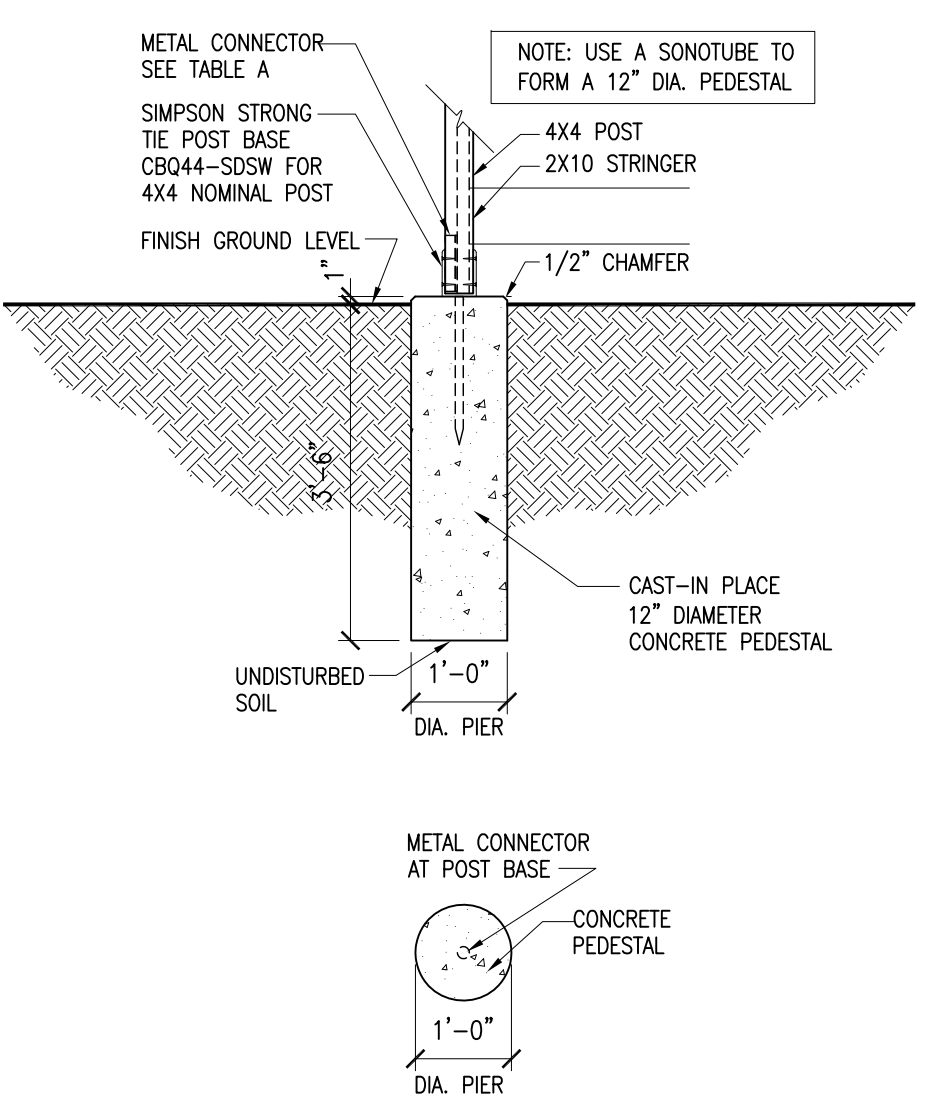
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STAIRS AND GUARDRAIL REQ.

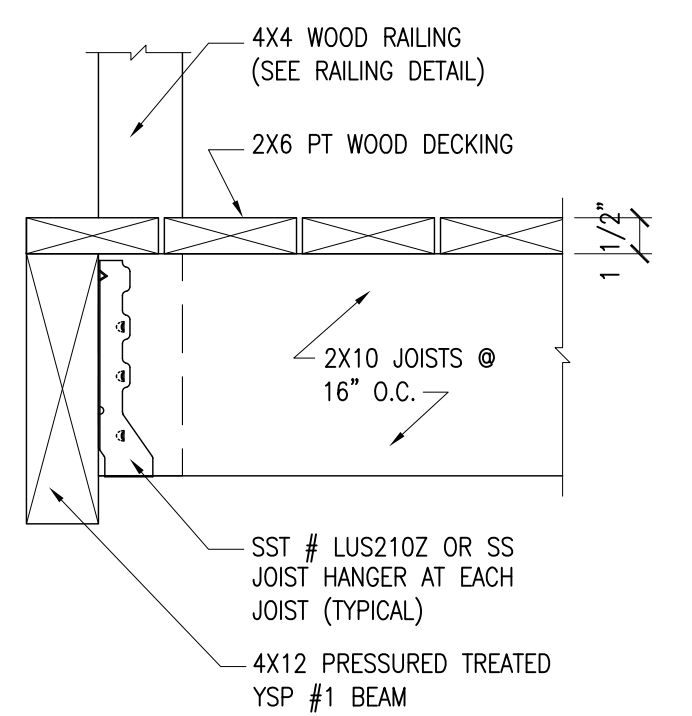
- STAIRS WILL HAVE A MINIMUM TREAD DEPTH OF 10", MEASURED NOSING TO NOSING, WITH NO MORE THAN 3/8" VARIANCE BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH.
- STAIRS WILL HAVE A MAXIMUM STEP RISER HEIGHT OF 7-3/4". THE MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND THE SMALLEST RISER SHALL NOT BE GREATER THAN 3/8".
- THE MINIMUM GUARDRAIL HEIGHT SHALL BE 36" PER IRC SECTION R312.1.2.
- ALL STAIRS WITH 4 OR MORE RISERS SHALL HAVE A CONTINUOUS, GRASPABLE HANDRAIL INSTALLED ON AT LEAST ONE SIDE OF THE STAIRWAY. THE HANDRAIL SHALL HAVE BOTH ENDS RETURNED TO THE WALL.
- ALL ACCESSIBLE SPACE UNDER INTERIOR STAIRS SHALL HAVE UNDER STAIR SURFACE, LANDINGS AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM 1/2" GYPSUM BOARD.
- A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1.25" SHALL BE PROVIDED ON ALL STAIRWAYS WITH SOLID RISERS PER IRC SECTION R311.7.5.3
- HANDRAILS MUST BE A MINIMUM OF 34" AND A MAXIMUM OF 38" IN HEIGHT, MEASURED VERTICALLY FROM THE FRONT EDGE OF THE TREAD NOSING TO THE TOP OF THE RAIL. HANDRAILS ARE REQUIRED IF THERE ARE 4 OR MORE RISERS ON STAIR. HANDRAIL MUST BE CONTINUOUS, RETURNED OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- PER IRC SECTION R311.7.8.3 THE GRIP SIZE FOR 1.25" AND NOT MORE THAN 2" IF CIRCULAR. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF NOT LESS THAN 4" AND NOT GREATER THAN 6.25" WITH CROSS SECTION OF NOT MORE THAN 2.25". HANDRAILS WITH A PERIMETER GREATER THAN 6.25" SHALL HAVE A GRASPABLE FINGER RECESS ON BOTH SIDES AND BE IN COMPLIANCE WITH IRC SECTION R311.7.8.3(2)
- GUARDRAIL SHALL BE REQUIRED ALONG OPEN-SIDE WALKING SURFACES, INCLUDING STAIRS, RAMPS, AND LANDINGS THAT ARE LOCATED MORE THAN 30" VERTICALLY TO THE FLOOR OR GRADE BELOW PER IRC SECTION R312.1.1
- GUARDRAILS AND HANDRAILS SHALL BE DESIGNED FOR A SINGLE CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP (SECTION R301.5)
- GUARD IN-FILL COMPONENTS (ALL EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT (SECTION R301.5)
- BALUSTERS MUST BE SPACED SO THAT A 4" SPHERE CANNOT PASS BETWEEN THEM AT ANY POINT
- STAIR HEADROOM MUST BE GREATER THAN 6'-8" PER THE REQUIREMENTS OF R311.7.2
- ALL WORK SHALL CONFORM TO THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) WITH GLEN ELLYN AMENDMENTS



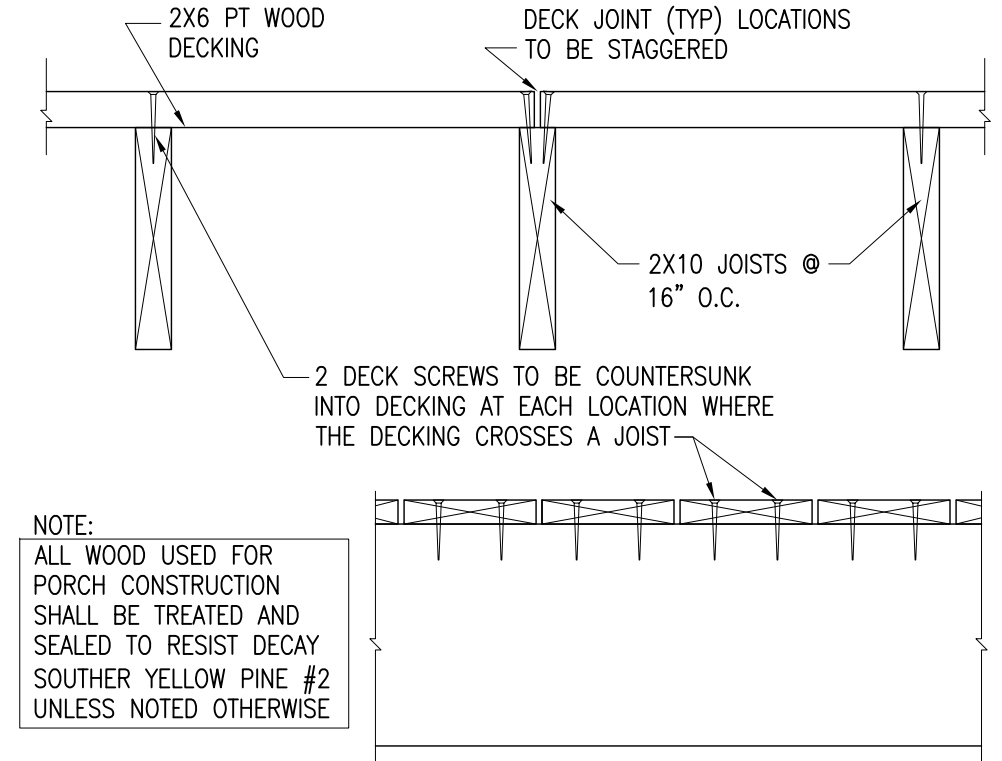
10 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



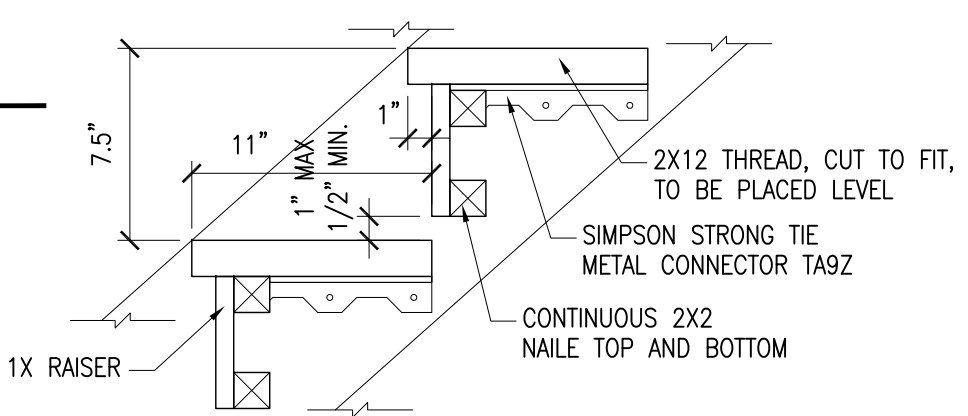
8 STAIR DETAIL
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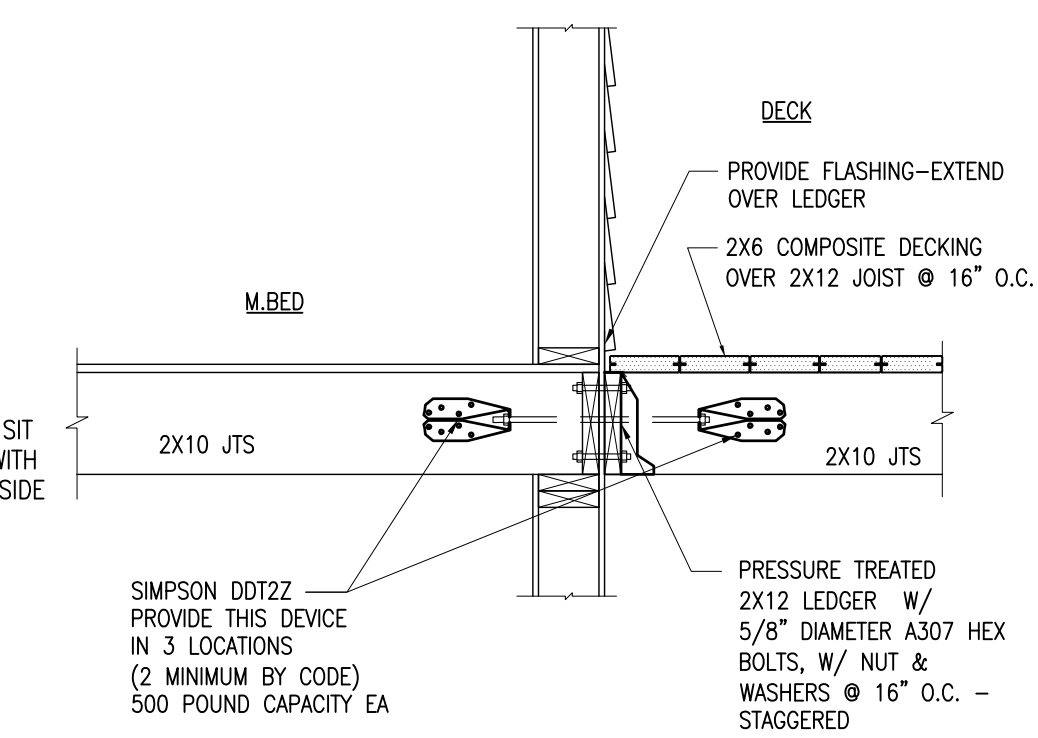
9 STAIR DETAIL
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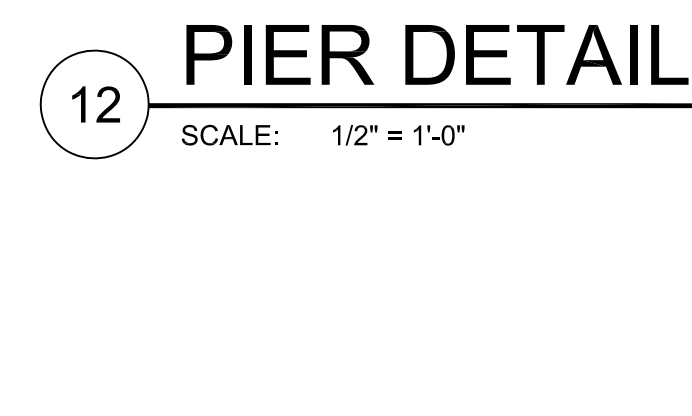
7 STAIR DETAIL
SCALE: 1 1/2" = 1'-0"



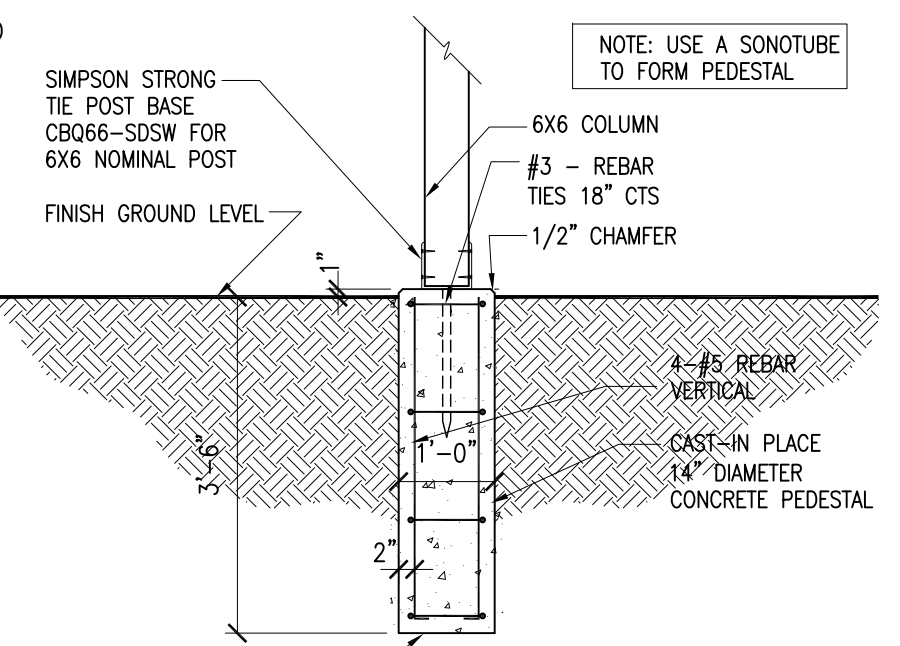
6 STAIR DETAIL
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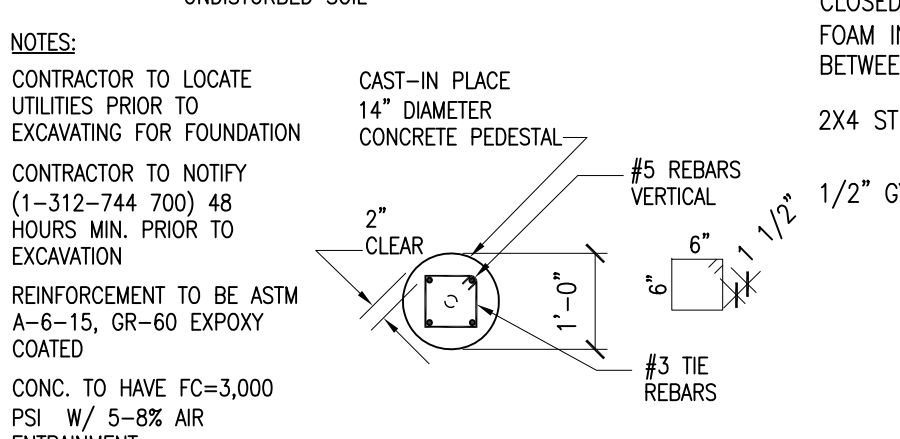
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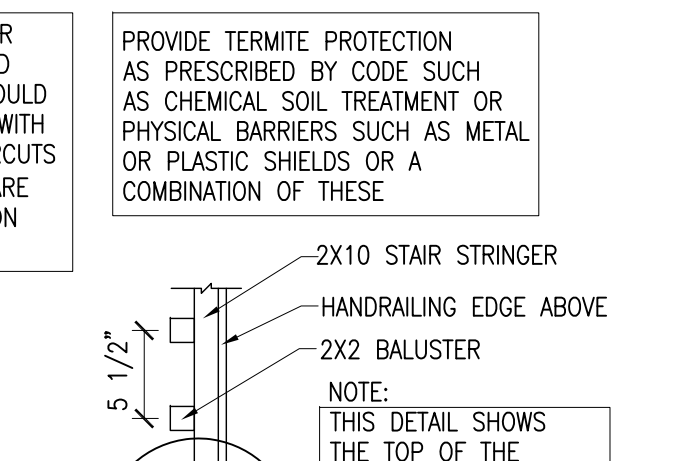
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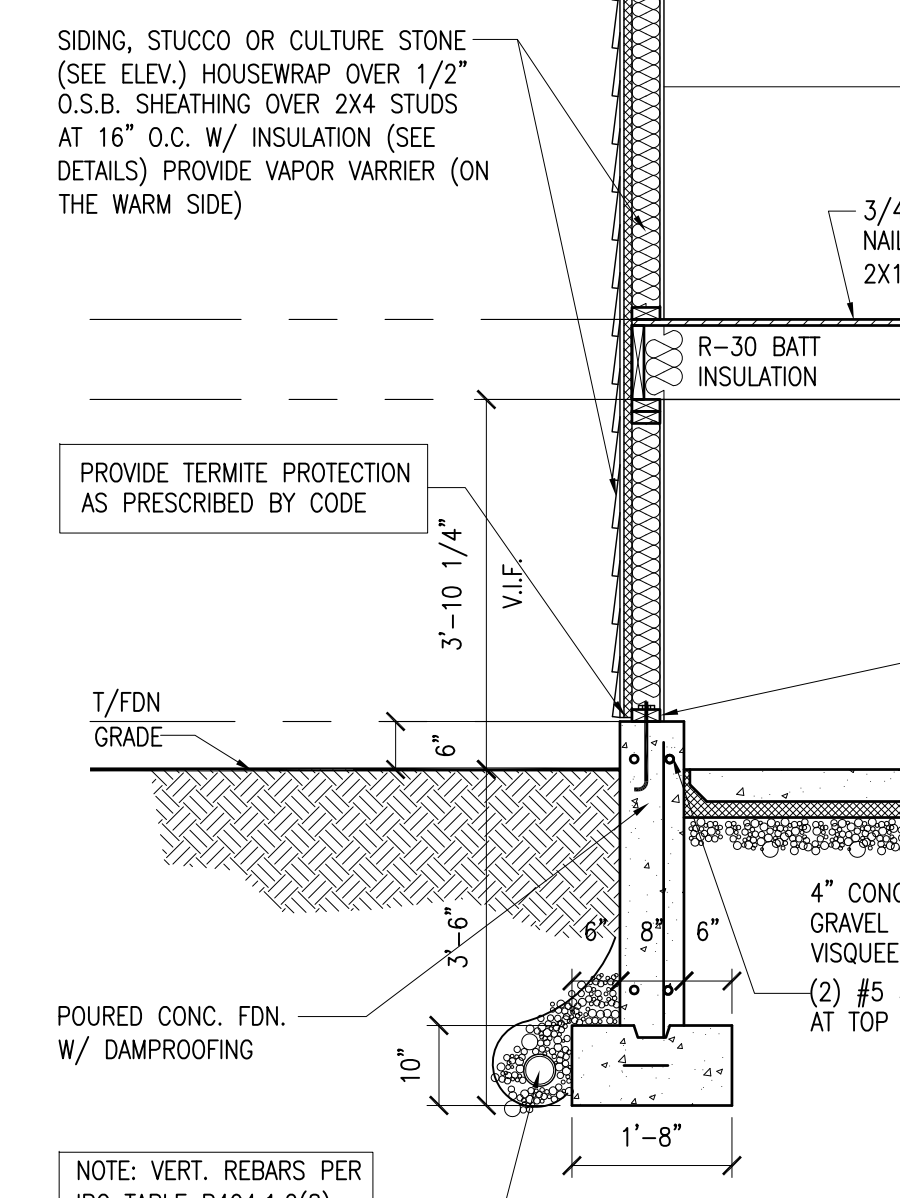
4 DECK DETAIL
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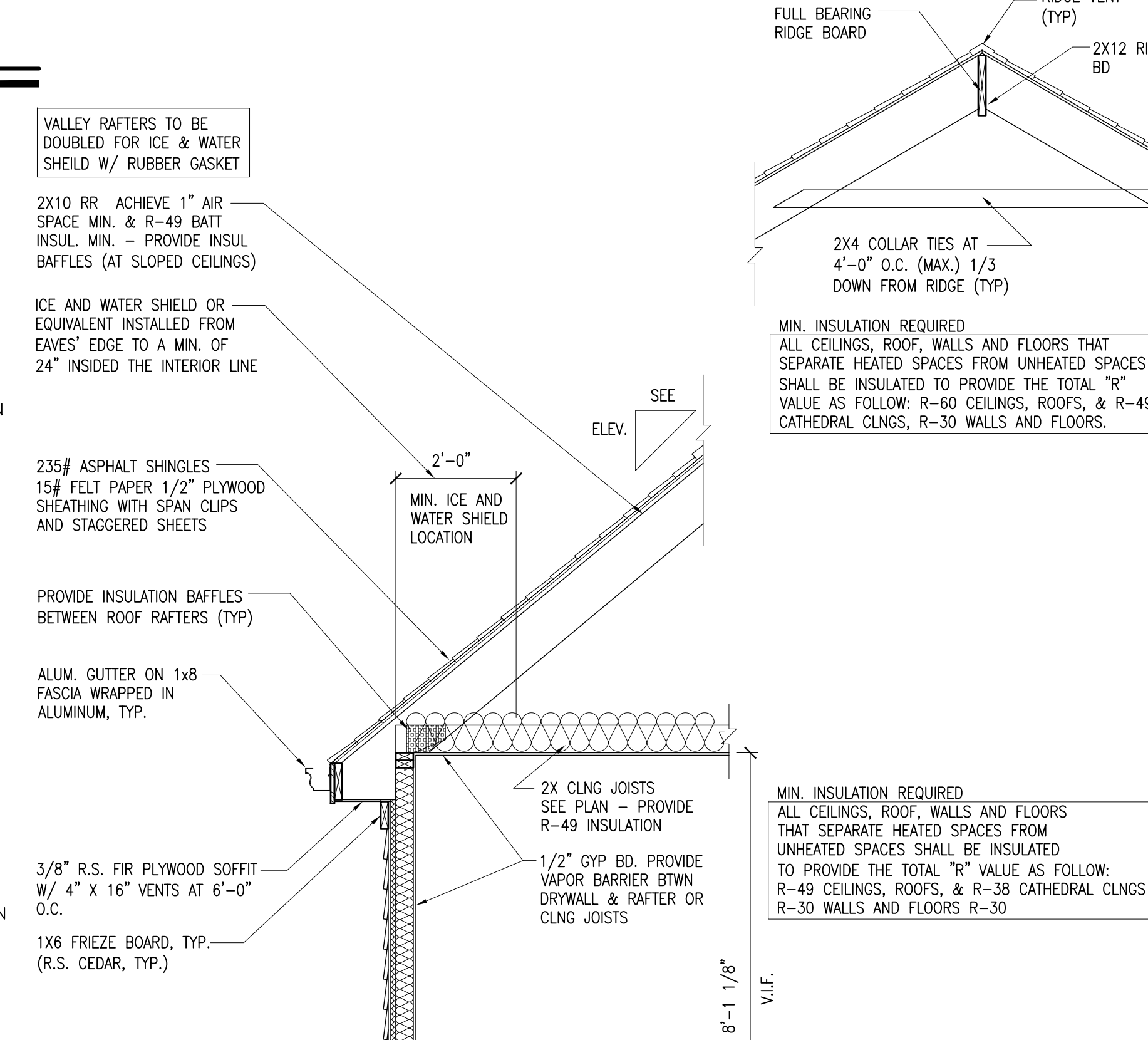
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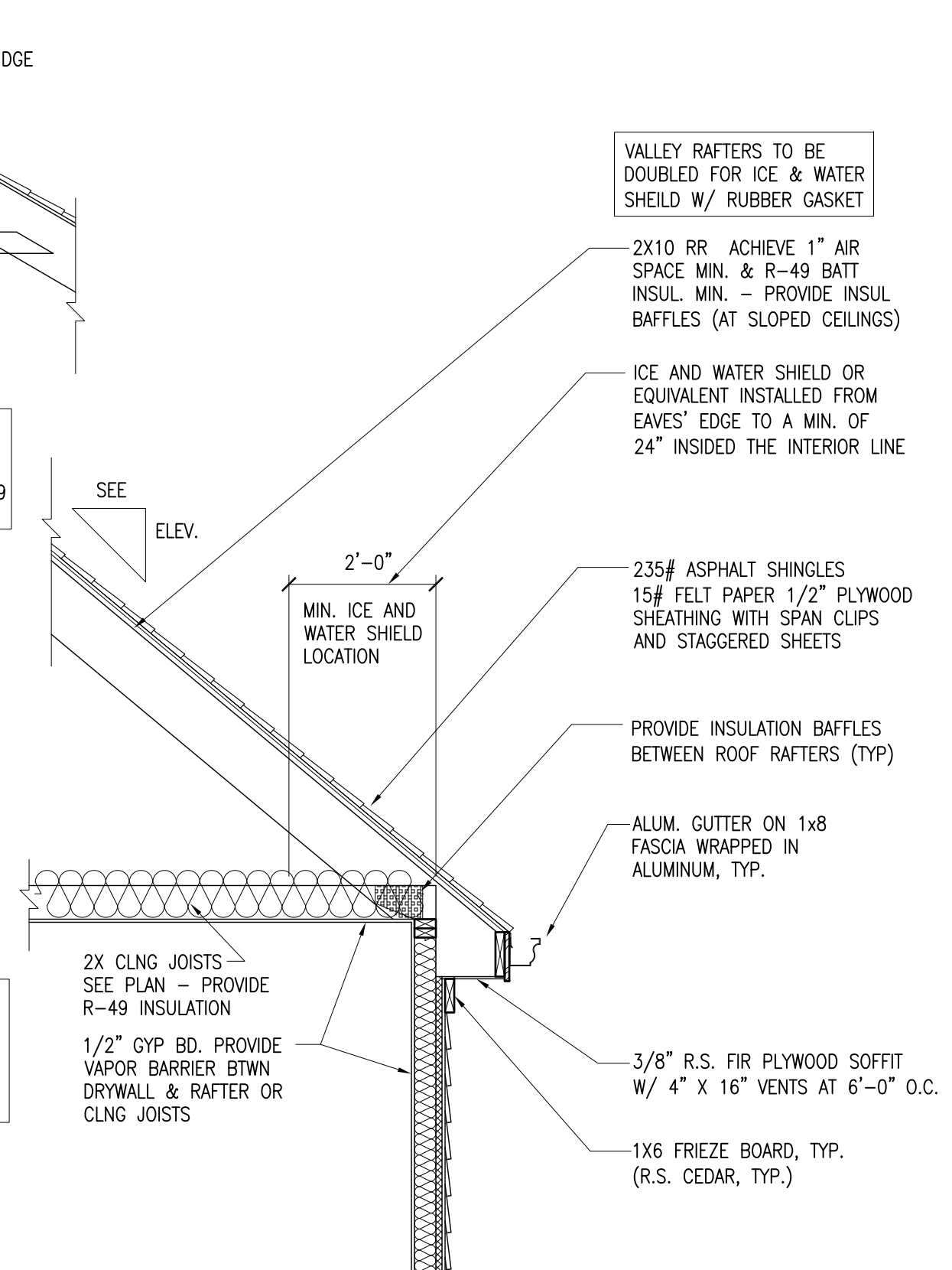
3 INSUL. DETAIL
SCALE: 1" = 1'-0"



1 TYPICAL SECTION
SCALE: 1/2" = 1'-0"



2 STAIR DETAIL
SCALE: 1/4" = 1'-0"



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FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	

PROJECT: **HARMON REMODEL**
17511 S. FIRST ST
DEKALB, IL 60115
CLIENT: **DYLAN & GINA HARMON**
EMAIL: **djharmon92@yahoo.com**
EMAIL: **gamaaronie@gmail.com**

JOB NO. 25-033
DATE 06-17-25
FILE
PLOT SCALE 1:1
OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
OVERALL SECTIONS
AND DETAILS

SHEET NUMBER
A5



(assumed)

KABAL SURVEYING COMPANY

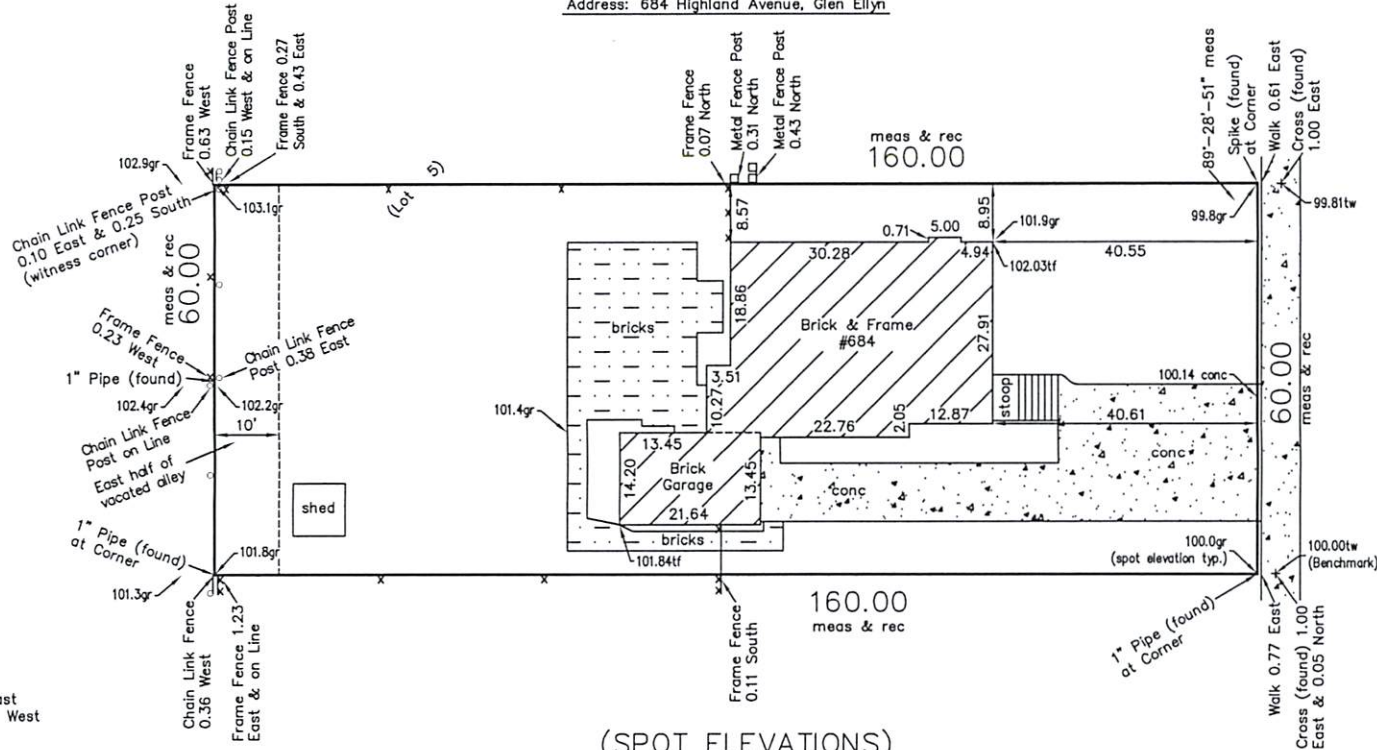
Land Surveying Services

Plat of Survey

10407 West Cermak Road
Westchester, Illinois 80154
(708) 562-2852
Fax (708) 562-7314
email: kabal-surveying@comcast.net
website: KabalSurveyingCompany.com
Registration No. 184-003061

The South 60 feet of Lot 5, together with the East half of the vacated alley lying West and adjoining the South 60 feet of said Lot, in Block 13 in Glen Ellyn Addition to Prospect Park, being a Subdivision in Section 11, Township 39 North, Range 10 East of the Third Principal Meridian, according to the Plat thereof recorded June 11, 1890 as Document 42867, in DuPage County, Illinois.

Address: 684 Highland Avenue, Glen Ellyn



Highland Avenue (66' R.O.W.)

BENCHMARK:
CROSS IN WALK NEAR THE
SOUTHEAST CORNER OF LOT
ASSUMED ELEVATION=100.00

LEGEND
R.O.W. = right-of-way, E = East
rec = record, N = North, W = West
meas = measured, S = South
pch = porch, rad = radius
prc = point of reverse curve
conc = concrete, pc = point of curve
gr = ground; tw = top of walk
tf = top of foundation

Area of property is approximately 9,600 square feet

Please check Legal Description with Deed and report any discrepancy immediately.

Surveyed October 20, 2022

Scale: 1 inch = 20 ft.
Order No. 221839
Ordered By: AM Kitchen & Bath

(SPOT ELEVATIONS)

SURVEY UPDATED MARCH 13, 2026



ORIGINAL SEAL IN RED

This professional service conforms to the current Illinois minimum standards for a boundary survey

STATE OF ILLINOIS }
COUNTY OF COOK } **

I, MITCHELL P. BALEK, an Illinois Professional Land Surveyor, hereby certify that I have surveyed the property described above and the plat hereon drawn is a correct representation of said survey.

Dimensions are in feet and decimal parts thereof and are corrected to a temperature of 62 degrees Fahrenheit.

Mitchell P. Balek

Illinois Professional Land Surveyor No. 035-003250
My license expires on November 30, 2026



**Glen Ellyn Historic
Preservation Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 4/16/2026 7:00 PM
Department: Community Development
Department Head: Jennifer Henaghan
Category: Award
Prepared By: Jordan Frahm

**AGENDA ITEM (ID # 2026-
285)**

DOC ID: 2026-285

2025 Historic Preservation Commission Annual Awards

Statement of the Issue:

The Historic Preservation Commission has received submission for three (3) nominations for the 2025 HPC Annual Awards.

Analysis:

The three (3) nominations for the 2025 HPC Annual Historic Preservation Awards are listed in alphabetical order with two nominations for Remodel of the Year and one nomination for Restoration of the Year category.

All project information, including narratives or project descriptions and photos are provided by the submitter of the application unless otherwise noted. Within the Public Portal there will be an abridged photo layout of the nominees and include basic submission information. HPC Commissioners will separately receive a larger packet with all submission materials and the project descriptions. Some submission materials have been limited if redundant.

As a reminder, please see the categories and their respective descriptions below. Some nominees may be assigned awards outside their nominated category.

Restoration of the Year Award: This award is in recognition of an outstanding effort to restore the exterior of a home or building in a manner fitting its historic character while adhering to Glen Ellyn's restoration guidelines and contributing to the preservation of Glen Ellyn history. In order to qualify for this award, a home must be 50 years or older. Entries are judged on the extent to which the exterior restoration is in keeping with the home's historic character.

Remodeling Project of the Year Award: This award is in recognition of an outstanding effort to remodel the exterior of a home or building in a manner maintaining or improving the architectural integrity and contributing to the preservation of Glen Ellyn history. In order to qualify for this award, a home must be 50 years or older. Entries are judged on the extent to which the exterior remodel is in keeping with the home's character.

Streetscape Compatibility Award: This award is in recognition of an outstanding effort to construct a new home or building in an architectural style and scale that contributes to the preservation of Glen Ellyn's historic streetscapes. A home can be of any age to qualify for this award. Entries are judged on their compatibility with the existing streetscape, in terms of architectural style and scale.

Architectural Details Award: This award is in recognition of an outstanding effort to restore an exterior detail element of a home, building or property in a manner fitting its historic character, and contributing to the preservation of Glen Ellyn history. Examples of exterior detail elements would include, but are not limited to, porches, cornice work, leaded glass windows or decorative fencing. To qualify for this award, a home must be 50 years or older. Entries are judged on the compatibility of the element with the historic character of the home or building.

Budget Impact:

Contribution to Strategic Plan

Action Requested:

The Historic Preservation Commission is to determine award winners for Restoration of the Year, Remodel of the Year, Streetscape Compatibility, and/or Architectural Detail.

Attachments:

1. 25 26 HPC Award Photo Spread

Village of Glen Ellyn Historic Preservation Commission

2025 Annual Awards Nominees



716 Crescent
494 Hill
795 North Park

716 Crescent Boulevard

Owner: Mike Wilson

Architect: Gerald McManus - Lineworks

Contractor: Hummingbird Woodworks

Nominated Category: Remodel of the Year



BEFORE



AFTER



BEFORE



AFTER



AFTER



AFTER

PROJECT DETAILS

Please provide a brief description of the nominated project:

William B. Heald moved into his newly completed home at 716 Crescent Boulevard, situated on the top of Honeysuckle Hill, overlooking Lake Ellyn in 1913. The house was designed by Frank Lloyd Wright.

The existing original one-car garage at the bottom of the hill, faces south toward Crescent Boulevard, with approximately 50 feet of driveway extending to the street. Built into the side of the hill behind the garage was a 55-gallon underground fuel tank, which was filled by Patch Brothers using a horse-drawn wagon. From this tank, the car could be fueled via a hose connection located beneath the car's front seat. The original fuel line remains in place today and can still be viewed inside the garage.

In 1957, William B. Heald constructed a second garage at the top of Honeysuckle Hill and added a driveway, 175 feet long to connect to Crescent Blvd., which can be seen from the road.

In 1987, Mike and Chris Wilson bought the home from Jane Heald Rathje, the daughter of William B. Heald.

In 2025, due to storm and hail damage, the upper garage was renovated. The main focal point was repurposing original art glass windows. Those art glass windows, used in the garage, were original windows from the house and had been damaged in a hailstorm and saved in the basement for over 10 years.

New windows were meticulously replicated for use in the main home 10 years prior at the time of the storm.

Interior finishes around the windows in the garage were carefully detailed to replicate the intricate casing profiles found in the main house.

We preserved and repurposed the upper garage structure using the original foundation walls, floor and roof. The garage was stripped down to the studs and updated to meet modern fire safety codes. Steel supports and structural framing were installed, per the engineer's drawings, in the walls between the 6 original art glass windows.

Interior and exterior gypsum panels were added to meet Village fire code requirements. The exterior was updated with cedar siding matching the same reveal as the house. The interior walls of the garage were finished with board cladding painted to match the outside stucco color of the house.

Two glass paneled garage doors were introduced, one off the over look deck, and the main garage door on the driveway to bring natural light into the space and to allow the garage to function as a flexible gathering area.

This garage structure now fits harmoniously with the main home, adjacent shelter and overlook deck, which looks out over Lake Ellyn from the top of Honeysuckle Hill.

494 Hill Avenue

Owner: William and Tayler Stogsdill

Architect: Julia Smith

Contractor: Ligman Construction Group

Nominated Category: Remodel of the Year



AFTER



Page 3 of 11
BEFORE

PROJECT DETAILS

Please provide a brief description of the nominated project:

This project consisted of adding a new full-width front porch with decorative details, adding second story roof overhangs, new front entry door, new garage door, and all new siding/soffit/fascia & gutters. The driveway was also replaced along with new landscaping. In the rear of the house, a large family-friendly deck was built with premium quality materials.



795 North Park Avenue

Owner: Scott and Kristin Fischer

Architect: Marc Kollias

Contractor: Tom Wetmore -Wetmore
Construction

Nominated Category: Restoration of the Year

BEFORE



AFTER



PROJECT DETAILS

Please provide a brief description of the nominated project:

795 N. Park Boulevard is a thoughtfully restored early 20th-century stucco home, originally constructed circa 1923, that reflects the architectural character and craftsmanship of its era while incorporating sensitive updates for modern living.

Beginning in February 2025, the home underwent a comprehensive restoration with a strong commitment to preserving its historic integrity. The restoration focused on maintaining the original massing, proportions, and exterior stucco façade, while carefully updating key systems and interior spaces to support contemporary use.

Throughout the restoration, significant effort was made to retain and honor original architectural elements wherever possible. Where replacement or modification was necessary, materials and design choices were selected to be historically appropriate and consistent with the home's original character. Updates were executed in a manner that is both respectful and reversible, ensuring the long-term preservation of the structure.

The property continues to contribute to the architectural continuity and historic streetscape of the surrounding neighborhood, with its scale, materials, and design remaining consistent with other homes of similar vintage.

This restoration represents a meaningful example of responsible historic stewardship—preserving the home's original character while ensuring its continued functionality for future generations.