



Agenda
Village of Glen Ellyn
Plan Commission Meeting
Thursday, February 26, 2026
7:00 PM
Glen Ellyn Civic Center, Galligan Board Room

Visitors are most welcome to attend all public meetings and can find copies of the Agenda online at www.glenellyn.org prior to the meeting. Any individual with a disability requiring reasonable accommodation in order to participate in a meeting should contact the Village of Glen Ellyn ADA Coordinator, 630-469-5000, at least five (5) business days in advance of the next scheduled meeting.

- A. Call to Order**
- B. Public Comment**
- C. Approval of Minutes**
 - 1) Review and Approval of the January 22, 2026, Plan Commission Meeting Minutes.
- D. New Business**
 - 1) Public Hearing — 22W584 Ahlstrand Road, Minor Subdivision and Subdivision Variations.
 - 2) Public Hearing — 484 Glenwood Avenue, Glenwood Station Planned Unit Development Amendment.
 - 3) Pre-Application — 451 Duane Street, Office Building Planned Unit Development.
- E. Trustee Liaison's Report**
- F. Chairman's Report**
- G. Staff Report**
- H. Other Business**
- I. Adjourn**

Civility Pledge - In the interest of civility, I pledge to promote civility by listening, being respectful of others, acknowledging that we are striving to support and improve our community, and understanding that we each may have different ideas for achieving that objective.



**Glen Ellyn Plan
Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 2/26/2026 7:00 PM
Department: Community Development
Department Head: Jennifer Henaghan
Category: Minutes
Prepared By: Daniel Harper

**AGENDA ITEM (ID
2026-140)**

DOC ID: 2026-140

Review and Approval of the January 22, 2026, Plan Commission Meeting Minutes.

Statement of the Issue:

Review and Approval of the January 22, 2026, Plan Commission Meeting Minutes.

Analysis:

Review and Approval of the January 22, 2026, Plan Commission Meeting Minutes.

Budget Impact:

Contribution to Strategic Plan

Action Requested:

Review and Approval of the January 22, 2026, Plan Commission Meeting Minutes.

Attachments:

1. DRAFT_Plan_Commission_1.22.26 Minutes

DRAFT MINUTES
Glen Ellyn Plan Commission Meeting
Thursday, Jan. 22, 2026, at 7:00 PM
Glen Ellyn Civic Center
Galligan Board Room

A. Call to Order and Roll Call

Commissioner Cooper called the meeting to order at 7:00 p.m. and explained the Plan Commission's function and operating procedure as an advisory body. He described the public hearing protocol including for public comment and announced that comments would be recorded.

Roll was called.

Plan Commissioners, Arango, Brown, Cooper, Dougherty, Kreuzer, and Morrison are present.

Chairperson Loftus, Commissioner Pesce and Wyant were absent.

Also in attendance: Steve Thompson, Village Trustee., Jennifer Hennigan, Community Development Director, Daniel Harper, Planning Manager, and Adriana Ohl Zamora, Recording Secretary.

Motion to Appoint Commissioner Cooper to be Acting Chairperson was made by Commissioner Arango, Commissioner Kreuzer seconded. The motion passed by voice vote.

B. Public Comment (non-agenda items)

There was no off-agenda audience comment.

C. Approval of Minutes

1. Review and Approval of the December 11, 2025, Plan Commission Meeting Minutes

Commissioner Brown moved to approve the minutes, Commissioner Morrison seconded the motion, and the motion passed by voice vote.

D. New Business

1. Pre-Application - 750 Roosevelt Road — Dutch Bros Drive-Through Restaurant

Mr. Harper presented on the pre-application below:

The subject site is located on the northwest corner of Roosevelt Road and Taylor Avenue, approximately 145 feet east of Roosevelt Road's intersection with Nicoll Avenue, currently zones as C4 Office Commercial. Pre-Application for potential drive-through restaurant.

The proposed project consists of the demolition of the existing 3,831 square foot building, Danby's Station Café, and the construction of a new one-story, 1,250 square foot Dutch Bros Restaurant building with a drive-through. The project also calls for the redevelopment of the site and would include updates to the parking lot and the underground of public utilities. The proposal would include a possible sign variation and zoning variations. Exterior building plans for proposal were shown to Commissioners along with Proposed Concept Site Plan.

A Special use permit is required for a restaurant with drive thru service. Mr. Harper explained that the proposal would likely include a potential front yard setback and impervious surface setback variations and a possible IDOT request for an easement for right of way. The site plan submitted by petitioner shows two stacking lanes, vehicle stacking on the site would allow for 25 cars. Access to site is on Roosevelt Rd and an access easement from Nicoll Way. The applicant is not proposing any changes to existing site access. Roosevelt Rd will be restricted to Right in Right out only and the design will be required to meet IDOT standards. Parking on the site includes 17 parking stalls. There is no interior seating in restaurant as the restaurant is strictly drive through and there is an outdoor patio space south of building. Landscape and lighting plan has not been provided at this point, but when provided it will be part of special permit. With Right in Right out, the restaurant operators have proposed the ability to block access from Roosevelt and circulate everyone towards Nicoll Way.

Part of site area is affected by storm water, and they will have to do some engineering work to mitigate negative storm water effects. The proposed elevations with signs was shown to Commissioners, noting that sign variations will have to be requested for the number of wall signs. There is also potential for a variation request for an offsite sign on Nicoll Way to use as directional signage.

Commissioner's Questions:

The Commissioners all expressed concerns to Mr. Harper that included the following:

- Traffic impacts on Roosevelt Road.
- Traffic back up on Roosevelt
- Signage and where it would be located
- Walk up window and patio- cause for concern with regards to pedestrians crossing and car flow

Mr. Harper explained that a traffic study from Dutch Bros. has not been submitted. IDOT was supportive of Right in Right out, request from Popeyes that they dedicate a 12ft easement for potential future IDOT expansion of Roosevelt Rd. Mr. Harper explained that a potential access on Taylor was discussed but decided to go with proposed plan as presented.

The concept site plan of the proposed patio and walk-up window were shown to Commissioners. It was explained that there would be crosswalks for pedestrians to walk up window and then they can walk directly into the patio. Existing sidewalks around the proposed project would remain but no new sidewalks would be constructed.

Signage would include a monument sign, 6 wall signs; 3 with windmill and 3 with text. The signs would likely be illuminated and require a variation request which is a typical request for drive-through restaurants on Roosevelt and Starbucks had similar variations.

Petitioner Presentation

Ben Barad, CORE Acquisitions LLC, Real Estate Development- Spoke on the development of Dutch Bros. coffee and the traffic concerns. He stated that Dutch Bros. is aware of traffic concerns and that they have employees take orders outside of the building and that there are no menu boards. The business model also includes drink runners, and staff traffic controllers to direct traffic.

He confirmed that the order takers would have a cover over them. That a walk-up window is part of the development of Dutch Bros. and that pre order is not available. It was clarified that the Coffee chain, has other locations within the area being planned to open around the same time but was not at liberty to share the actual location. Opening several sites around the same time is part of the traffic mitigation plan of Dutch Bros.

Mr. Barad was not able to answer all of the Commissioner questions as he represents the developer and not Dutch Bros. and was asked to provide answers to the following questions:

1. Will there be any special promo days?
2. Is there a version of the sign that combines name and logo into one sign?
3. Will there be someone from Dutch Bros. at the meeting?
4. For large orders, will they have designated parking spots to have customers wait for their order to keep traffic moving?
5. Statistics on how many vehicles are waiting for coffee during high peak hours?
6. What consideration has been put and business model with concerns to traffic?

The Project Engineer for the site was available to answer questions pertaining to the permeable surface that is part of the project. He stated that the middle area (referencing Concept Plan) would be a green space, to include but not limited to shrubs, and landscaping would depend on how flood plan shapes out but would have no structures. He stated that there would be 3 planned mobile web app parking spots as part of the plan.

Commissioners additionally asked the following questions:

1. Whether the site management suggestions of a future traffic plan is contractually enforceable?
2. How many fast-food restaurants in the village are open until Midnight?
3. What if we force an exit out on Nicole Way?

Mr. Harper, Village Planning Manager responded by stating that he does not believe the traffic plan is contractually enforceable, and that he did not have information on hand on how many restaurants are open until Midnight. With regards to exiting on Nicoll Way, it can be an option however we have to see if a traffic impact study would warrant that.

Public Comment-

Norris Eber- He lives on Nicole Way and Taft and is concerned about using Nicole Way as a dumping place for all the traffic generated by the concept, using as exit ways is fine. He thought it was a creative plan with the stacking and was familiar with principals of this company. Nicole Way, traffic studies with Village were not taken into consideration. It is not the answer to correct Roosevelt Rd traffic. May be work needed on variances and to be creative.

Nick Zaras, owner of Danby's Station- Stated he was familiar with popeyes project and that he thinks the advantage here is the simplicity of plan, a smaller space. Popeyes initially wanted to go left hand turn when going east, like the fact building is smaller and simpler concept. The simplicity will make it work quicker, with no left-hand turn.

E. Trustee Liaison's Report

- Strategic Planning Sessions last two weeks, exercises with consultants to envision goals for next 5 to 6 years.
- 189 East Rd, zoning variation approved.
- 167 Forrest Ave. was approved.
- Legacy shops variations was approved.

Cooper- Where do we stand in next stage of Zoning rewrite?

Mr. Harper- We have approved an agreement with a consultant for the zoning code rewrite project. February will be first meeting to layout strategy and big picture plan internally, review zoning code, identify any changes we would like to have, identify public input schedule. The plan is to have public meetings on regularly scheduled Zoning Commission Meeting dates. The project will likely include 1 to 2 general open houses for interested residents. He stated that staff is identifying dates for stake holder meetings that include builders, architects, and other professionals who frequently do business with the village. Target completion date is February of 2027.

F. Chairman's Report- None

G. Staff Report

- Legacy Shops variations approved.
- Maplewood Distillery sign variation approved, issued sign permits this week.
- 499 Anthony St, office with ground floor residential on top was approved.
- Glenwood station is applying for an amendment to the PUD to allow accessibility to the north landscaped area to provide private amenities for north facing ground floor residents.
- 451 Duane- The applicant would like to do office concept, allowed use in C5B- requires pre application.
- State of Illinois approved a law that overrides local code and does not allow the village to enforce parking minimums for development within a half-mile area of the Metra Station.
- Next agenda will have a request for subdivision variations, west side of Park on Ahlstrand, variation from subdivision code.

H. Other Business

I. Adjourn 8:36PM



Glen Ellyn Plan
Commission
535 Duane Street
Glen Ellyn, IL 60137

Meeting 2/26/2026 7:00 PM
Department: Community Development
Department Head: Jennifer Henaghan
Category: Public Hearing
Prepared By: Daniel Harper

AGENDA ITEM (ID
2026-141)

DOC ID: 2026-141

Public Hearing — 22W584 Ahlstrand Road, Minor Subdivision and Subdivision Variations.

Statement of the Issue:

The petitioner, La Gambina Homes, Inc. has submitted an application for a minor plat of subdivision and subdivision variations related to the proposed annexation of 22W584 Ahlstrand Road.

Analysis:

REQUEST:

The petitioner requests approval of a minor plat of subdivision and subdivision variations to allow for the proposed annexation of 22W584 Ahlstrand Road. Their plans include the demolition of the existing home and subdivision of the existing property into two lots. The new lots will be developed as two single family homes in the R1 Single Family Residential Zoning District. The project also includes the extension of water and wastewater facilities to service the two new homes.

The Petitioner seeks the following variations from the Village’s Subdivision Code:

1. A variation from Section 11-4-4(M) to not provide streetlights along adjacent portions of Ahlstrand Road and Oaklawn Drive.
2. A variation from Section 11-4-7 to not provide sidewalks along adjacent portions of Ahlstrand Road and Oaklawn Drive.

BACKGROUND:

The subject property is unincorporated, is located on the north side of Ahstrand Road and is located at the northeast corner of Ahlstrand Road and Oaklawn Drive. The property is currently developed as a one-story home on an approximately 0.91 acre lot that is serviced by a well and septic system.

ZONING: Upon annexation, the two proposed properties would be zoned R1 Single Family Residential as this would be consistent with the surrounding residential zoning. The surrounding zoning and land use are as follows:

| Land Use | Zoning |
|----------------------------------|----------------|
| North: Single-Family Residential | Unincorporated |
| South: Single-Family Residential | Unincorporated |

West: Single-Family Residential
East: Single-Family Residential

Unincorporated
R1 Single Family Residential

COMPREHENSIVE PLAN: The 2023 Comprehensive Plan future land use designation for the subject property is Single-Family Detached. The proposal is in compliance with the Plan.

PUBLIC NOTICE: Notice of the public hearing was published in the February 10, 2026, edition of the Daily Herald. Property owners within 250 feet of the property were notified by mail of the public hearing and a placard was placed on the property.

PROJECT SUMMARY:

Minor Subdivision and Utilities

The applicant is proposing to subdivide the property into two residential lots. Upon annexation, the two lots will be zoned R-1 Single Family Residential. The proposed lots meet the minimum lot requirements of Section 10-4-7(D) of the village Zoning Code and would conform upon annexation. The property has some unique stormwater challenges based on the topographic conditions that are accounted for in the form of stormwater easements located in rear and eastern side yards of the proposed lots. Both lots will have drywells located in the front yards to account for these conditions. The proposed plat has been reviewed by village engineering staff and would be in compliance with village stormwater requirements.

As part of the development of these two properties, the applicant will be constructing an extension of existing water and stormwater utilities along Ahlstrand Road. The two properties will be disconnected from the existing well water and septic system and will be connected to the extended village utility system. The proposed extensions have been reviewed by village public works engineers and will be part of the overall development of the property.

Sidewalk Variation Request

The proposed development of the property requires the construction of sidewalks located on both sides of the rights-of-way adjacent to all new and existing streets per Section 11-4-7 of the Village Code. The applicant is requesting a variation of this requirement as there are currently no sidewalks located within the existing subdivision, and they believe that constructing sidewalks on both sides of Ahlstrand Road and Oaklawn Drive would be counter to the existing character of the neighborhood. Please review the applicant's statement and application attached.

Village staff recommends that a variation from the sidewalk requirements be granted on the condition that, in lieu of sidewalks being constructed on both sides of the right-of-way adjacent to the property, the developer constructs a sidewalk adjacent to the property on the east side of Oaklawn Drive only and the north side of Ahlstrand Road only with the sidewalk continuing east and connecting to the existing sidewalk along S. Park Boulevard. This alternative design would act as a pedestrian connection to the existing pedestrian infrastructure on Park Boulevard while still maintaining the character of the neighborhood.

Street Lighting Variation Request

The proposed development of the property requires the construction of streetlights to be provided throughout the subdivision as approved by the Public Works Director and in accordance with the

standards for street lighting set forth in the Village of Glen Ellyn standards for the construction of public improvements per Section 11-4-4(M) of the Village Code. The nearest village streetlight facility is located north of the property along S. Park Boulevard and is approximately 1,750 linear feet from the property along Ahlstrand Road and S. Park Boulevard. The applicant has requested a variation of this requirement as providing street lighting would counter to the existing character of the neighborhood. Please review the applicant's statement and application attached.

Village staff recommends that a streetlight be installed at the corner of Ahlstrand Road and Oaklawn Drive in order to provide safety illumination for the three-way intersection.

Budget Impact:

Contribution to Strategic Plan

Action Requested:

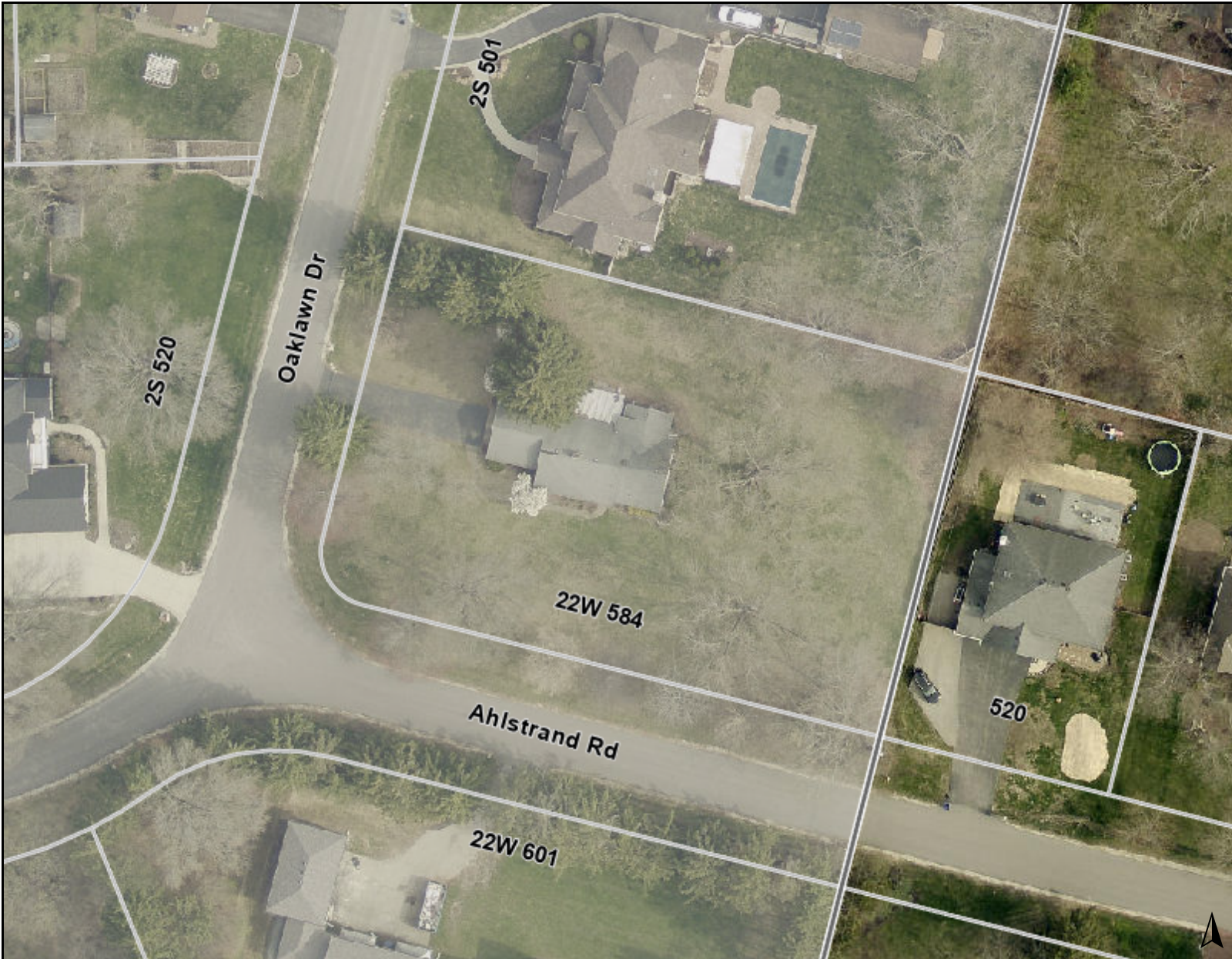
The Plan Commission should consider the petitioner's request for approval of a minor plat of subdivision with subdivision variations and make a recommendation to the Village Board for approval, approval with conditions, or denial. In reviewing the requested variations, the Commission should consider the criteria in Section 11-3-11 of the Subdivision Code.

The Commission may wish to consider recommending that the following conditions be placed on any approval:

1. The property shall be developed in substantial compliance with the site improvement plans and that a sidewalk be constructed adjacent to the property on the east side of Oaklawn Drive only and the north side of Ahlstrand Road only, with the sidewalk continuing east and connecting to the existing sidewalk along S. Park Boulevard.
2. The property shall be developed in substantial compliance with the site improvement plans and that a streetlight be installed at the corner of Ahlstrand Road and Oaklawn Drive.

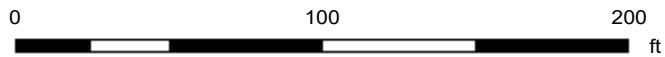
Attachments:

1. Aerial Map
2. Zoning Map
3. Application - Minor Subdivision
4. Application - Subdivision Variation
5. Plat of Subdivision
6. Site Improvement Plan Set
7. Staff Recommended Sidewalk and Streetlight Location Exhibit



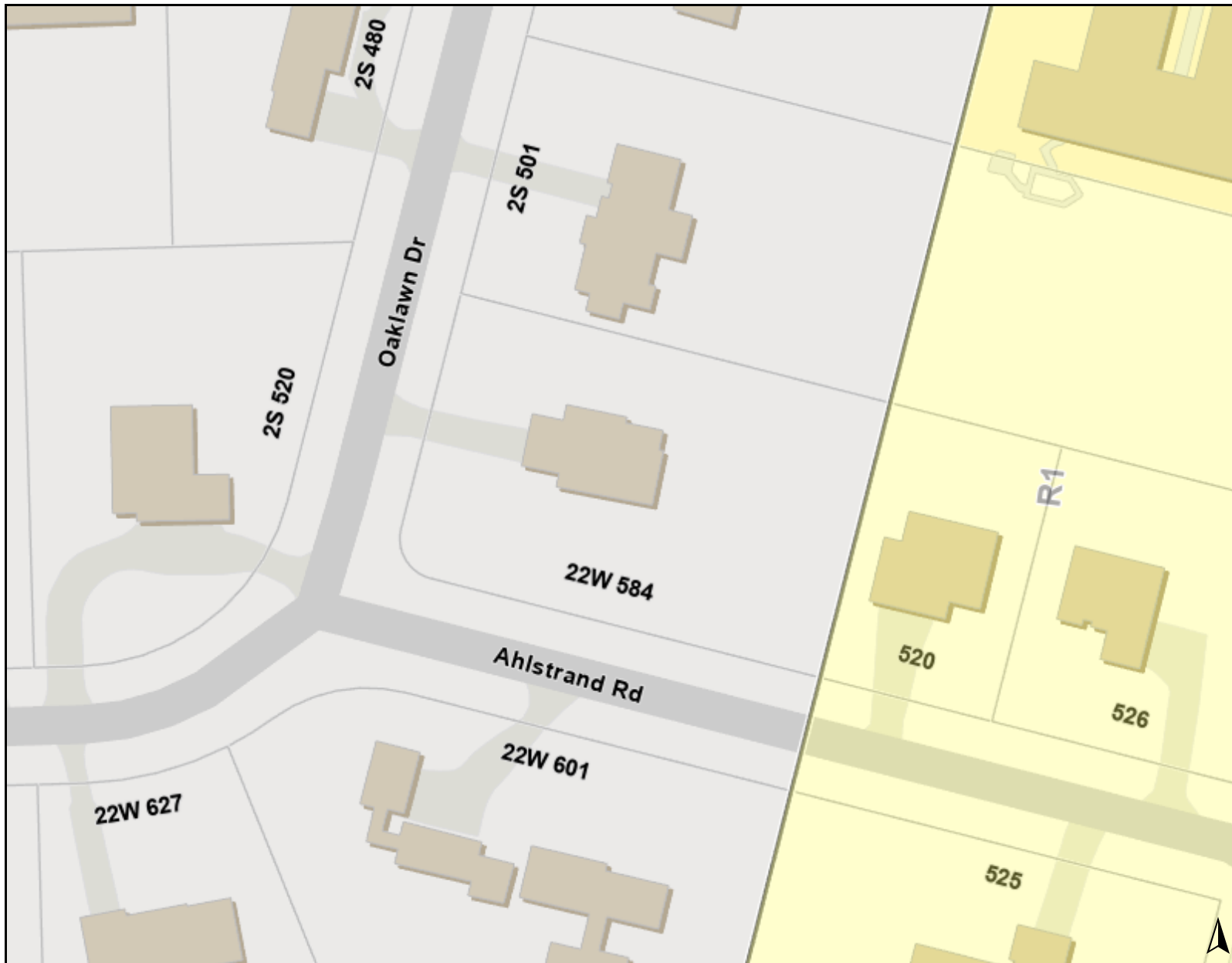
Legend

Notes



Print Date: 2/12/2026

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

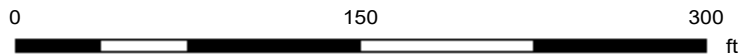


Legend

Zoning and Development

Zoning

R1: Single Family Residential District



Print Date: 2/12/2026

Notes

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VILLAGE OF GLEN ELLYN

Minor Subdivision Application Packet

*Community Development Department
535 Duane Street – Glen Ellyn, IL 60137 – Telephone 630.547.5250 – Fax 630.547.5370*

APPLICATION FOR MINOR SUBDIVISION

Date Filed: 9/24/2025

Application No: 2025-0043

Name of Applicant: La Gambina Homes Inc.

Address of Applicant: 22w601 Ahlstrand Rd. Glen Ellyn, IL 60137

Property Interest of Applicant: Owner

Name of Owner: La Gambina Homes Inc

Address of Owner: 53 E Saint Charles Rd Villa Park IL, IL 60181-2465

Contacts:

| Type | Name | Address |
|-------------------|-----------------------|--|
| Petitioner | La Gambina Homes Inc. | 22w601 Ahlstrand Rd. Glen Ellyn, IL 60137 |
| | La Gambina Homes Inc. | 22w601 Ahlstrand Rd. Glen Ellyn, IL 60137 |
| Web Administrator | La Gambina Homes Inc. | 53 E Saint Charles Rd Villa Park IL, IL 60181-2465 |
| | La Gambina Homes Inc. | 53 E Saint Charles Rd Villa Park IL, IL 60181-2465 |

Property Address: 22W584 Ahlstrand Rd

Project Name: Web Project

Project Description: Minor subdivision with 2 variation requests

Legal Description of Property:

Lot 89 in first addition to Ahlstrand's arboretum estates, being a subdivision of part of sections 26 and 27, township 39 north, range 10 east of the third principal meridian, according to the plat thereof recorded April 6, 1955, as document 752019, in DuPage county, Illinois.

Present Use: Single Family Residential

Requested Use / Construction: Single Family Residential

Requested Zoning Classification of Property: R1

Current Zoning Classification of Property: N.A.

Estimated Date to Begin New Use/Construction: 1/1/2026

Narrative Statement:

The existing lot we are proposing to subdivide (along with annexation into Glen Ellyn) into two separate Residential single-family lots consistent with the character of the neighborhood, and the property directly to the east which were split from a single lot into two lots and then had two single family homes built upon them. There will be a net increase of 1 dwelling unit as there presently is one unit currently on a well and septic system, which will be removed in its entirety, and the two constructed homes will be connected to an extension of the village water and wastewater utilities.

APPROVAL STANDARDS:

1. Please describe how the proposed subdivision meets the following criteria: The proposed subdivision conforms to the provisions set forth in this Subdivision Ordinance, including the rules and regulations referenced in Section 11-4-1 of the Subdivision Code:

The proposed subdivision meets these criteria as the proposed subdivision will conform to the applicable rules and regulations as referenced in section 11-4-1 of the subdivision code.

2. Please describe how the proposed subdivision meets the following criteria: Definite provision has been made for a water supply system that is sufficient in terms of quantity, dependability, and quality to provide an appropriate supply of water for the type of subdivision proposed:

The proposed subdivision meets these criteria as the proposed subdivision is to provide provisions for water supply system by extending the current water line (currently at the property to the east) to both of these properties in accordance with the engineer's drawings and the village engineers' approval.

3. Please describe how the proposed subdivision meets the following criteria: A public sewage system is proposed, and adequate provision has been made for such system or, if other methods of sewage disposal are proposed that such systems will comply with federal, state, and local laws and regulations:

The proposed subdivision meets these criteria as the proposed subdivision is to provide provisions for sewage supply system by extending the current sewage line (currently at the property to the east) to both of these properties in accordance with the engineers drawings

and the village engineers approval also complying with federal, state, and local laws and regulations.

4. Please describe how the proposed subdivision meets the following criteria: All areas of the proposed subdivision which may involve soil or topographical conditions presenting hazards or requiring special precaution have been identified by the Subdivider and that the proposed uses of these areas are compatible with such conditions:

The proposed subdivision meets this criteria as the proposed subdivision does not have any hazards or any areas requiring special precaution. The current lot has been in existence as a single family home for the last 60 + years and is not presenting any hazards, nor will the subdivision create any.

5. Please describe how the proposed subdivision meets the following criteria: The proposed subdivision will not be detrimental to the public health, safety and welfare:

The proposed subdivision will not be detrimental to the public health, safety and welfare, anymore than any other two single family homes would be considered detrimental to the public health, safety and welfare.

6. Please describe how the proposed subdivision meets the following criteria: No development shall be approved if such development, at full occupancy, will result in or increase traffic on an arterial or collector street to such an extent that the street does not function at a level of service deemed acceptable by the Village. The applicant may propose and construct the approved traffic mitigation measures to provide adequate roadway capacity for the proposed development:

The proposed subdivision at full occupancy will not result in any meaningful increase in traffic on any arterial or collector streets. There will be a net gain of one residential unit.



VILLAGE OF GLEN ELLYN

Subdivision Variation Application Packet

*Community Development Department
535 Duane Street – Glen Ellyn, IL 60137 – Telephone 630.547.5250 – Fax 630.547.5370*

APPLICATION FOR SUBDIVISION VARIATION

Date Filed: 9/24/2025

Application No: 2025-0044

Name of Applicant: La Gambina Homes Inc.

Address of Applicant: 22w601 Ahlstrand Rd. Glen Ellyn, IL 60137

Property Interest of Applicant: Owner

Name of Owner: La Gambina Homes Inc

Address of Owner: 53 E Saint Charles Rd Villa Park IL, IL 60181-2465

Contacts:

| Type | Name | Address |
|-------------------|------------------|-----------------------------|
| Petitioner | La Gambina Homes | 22w601 Ahlstrand Rd. Glen |
| | Inc. | Ellyn, IL 60137 |
| Web Administrator | La Gambina Homes | 22w601 Ahlstrand Rd. Glen |
| | Inc. | Ellyn, IL 60137 |
| Parcel Owner | La Gambina Homes | 53 E Saint Charles Rd Villa |
| | Inc | Park IL, IL 60181-2465 |

Property Address: 22W584 Ahlstrand Rd

Project Name: Web Project

Project Description: Minor subdivision with 2 variation requests

Legal Description of Property:

Lot 89 in first addition to Ahlstrand's arboretum estates, being a subdivision of part of sections 26 and 27, township 39 north, range 10 east of the third principal meridian, according to the plat thereof recorded April 6, 1955, as document 752019, in DuPage county, Illinois.

Present Use: Single Family Residential

Requested Use / Construction: Single Family Residential

Requested Zoning Classification of Property: R1

Current Zoning Classification of Property: N.A.

Estimated Date to Begin New Use/Construction: 1/1/2026

Narrative Statement:

We are requesting 2 variations. The first being a variation request from having to install street lighting at the property (Village's subdivision regulations 11-4-4-M). The second being a variation request from having to construct sidewalks in the city's right of way (Village's subdivision regulations 11-4-7).

APPROVAL STANDARDS:

1. The granting of the variance will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements.::

The granting of both of these variances will not be detrimental to the public safety, health, or welfare or injurious to other property or improvements because the lot currently is a single-family residence without such improvements, we are proposing leaving it within the character of the neighborhood which does not have these features.

2. The conditions upon which the request is based are unique to the property for which the relief is sought, create substantial difficulty in developing the property and are not generally applicable to other property.

The conditions upon which the request is based are unique to this property as it currently rests in a neighborhood without such amenities, and adding them would 1) create an eyesore of a property in the middle of a neighborhood without such features, and 2) since these features do not border the current property would look out of place adding them to these two properties.

3. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out.

Due to the particular physical surroundings of these two lots as well as the topographical conditions involved on the lots, it would not be practical to add both sidewalks and street lighting to these properties. 1) There is a swale that brings water from the subdivision where the sidewalk and streetlighting should be placed, preventing the installation of these

features. 2) The sidewalk and street lighting do not fit in with the character of the neighborhood which does not have these features

4. That the variation, if granted, will not alter the essential character of the locality.

The variation, if granted, will not alter the essential character of the locality. In fact, I would argue that if the variations are not granted the essential character of the locality will be altered in a negative manner and create an eyesore in the middle of the locality.

5. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The purpose of the variation request is not based upon a desire to make more money out of the property; it is based upon maintaining the character of the neighborhood. See I live across the street from the subject property and would be disappointed to see streetlighting, and a sidewalk to nowhere.

6. That the proposed variation will not: Diminish or impair property values within the neighborhood.

The proposed variation will not diminish or impair property values within the neighborhood. Conversely, I would argue that if the variations are not granted the property values of the locality will be altered in a negative manner and create an eyesore in the middle of the neighborhood.

7. That the proposed variation will not: Unduly increase traffic congestion in the public streets and highways.

The proposed variation will not increase traffic congestion in the public streets and highways. Requesting a variation to forgo street lighting and sidewalks will not increase traffic congestion on public streets.

8. That the proposed variation will not: Result in an increase in public expenditures.

The proposed variation will not result in an increase in public expenditures, as the neighborhood and community is not part of Glen Ellyn (The vast majority 95% is unincorporated DuPage County), and this one property recently being subdivided in being incorporated into the community.

9. That the variation is the minimum variation that will make possible the reasonable use of the land.

Whether this is viewed as a single lot or as two lots, we would be seeking relief for the same two variations as we are now. Therefore, I would say that yes this is the minimum variation possible that we can request to make a reasonable use of this land.

10. Whether or not the alleged difficulty or particular hardship has been created by any person presently having an interest in the property or by the applicant.

No alleged difficulty or particular hardship has been created by any person presently having an interest in the property or by the applicant.

ANGELA'S SUBDIVISION

OF

PART OF SECTION 26, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 6, 1955 AS DOCUMENT 752019, IN DUPAGE COUNTY, ILLINOIS.

OWNER NAME & ADDRESS:
LA GAMBINA HOMES, INC.
53 E ST CHARLES RD
WHEATON IL 60187

DEVELOPER NAME & ADDRESS:
LA GAMBINA HOMES, INC.
53 E ST CHARLES RD
WHEATON IL 60187

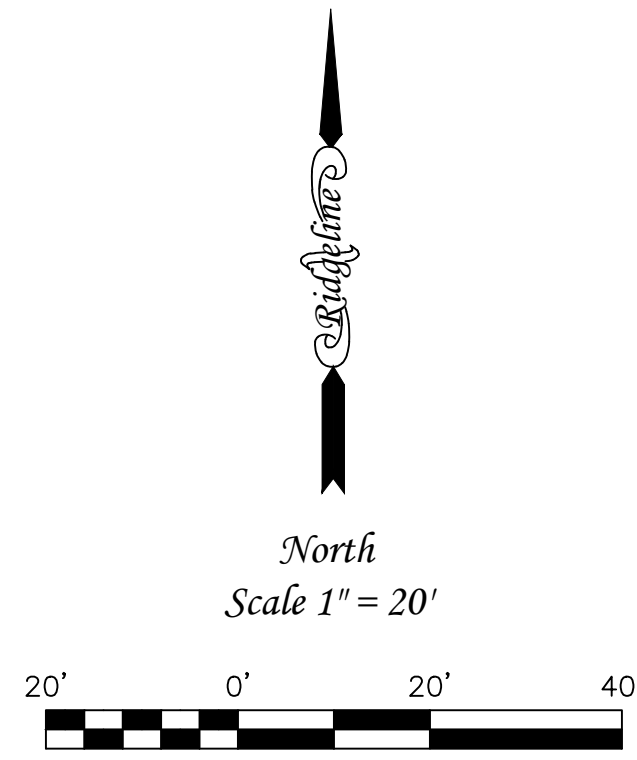
SURVEYOR NAME & ADDRESS:
RIDGELINE CONSULTANTS, LLC
1661 AUCUTT ROAD
MONTGOMERY, IL 60538

LEGEND

| | |
|---|-----------|
| BOUNDARY LINE = | ————— |
| ADJACENT LOT LINE = | ————— |
| EXISTING EASEMENT LINE = | - - - - - |
| PROPOSED EASEMENT LINE = | - - - - - |
| PROPOSED STORMWATER MANAGEMENT EASEMENT = | [-----] |
| HEREBY GRANTED | |

ABBREVIATION LEGEND

- E = EAST
- E'LY = EASTERLY
- (M) = MEASURED DISTANCE
- N = NORTH
- N'LY = NORTHERLY
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- (R) = RECORD DISTANCE
- R.O.W. = RIGHT OF WAY
- S = SOUTH
- S'LY = SOUTHERLY
- W = WEST
- W'LY = WESTERLY



OWNERS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ANNEXED PLAT, AND THAT HE HAS CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

I HEREBY DEDICATE FOR PUBLIC USE THE LANDS SHOWN ON THIS PLAT FOR THOROUGHFARES, STREETS, ALLEYS, AND FACILITIES; AND I HEREBY ALSO RESERVE FOR THAT COMPANY OR COMPANIES WHICH HAVE BEEN GRANTED BY THE VILLAGE OR OTHER ENTITIES WITH THE POWER TO DO SO, FRANCHISES WITHIN THE VILLAGE FOR UTILITY SERVICES, INCLUDING NATURAL GAS, ELECTRICITY, TELEPHONE, WATER, SEWER, CABLE AND OTHER SIMILAR ENTITIES THE EASEMENT PROVISIONS, WHICH ARE STATED ON THEIR STANDARD FORM, WHICH IS ATTACHED HERETO.

THIS IS TO CERTIFY, AS OWNER OF THE PROPERTY DESCRIBED HEREIN AND LEGALLY DESCRIBED ON THE PLAT, THAT I HAVE DETERMINED TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT EACH OF THE SUBJECT LOTS LIE WHOLLY WITHIN (NAME SCHOOL DISTRICT(S)).

(ADDRESS)

DATED THIS _____ DAY OF _____, A.D. 20__.

NOTARY CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE

AFORSAID, DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH OWNERS, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGE THAT THEY SIGNED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____, A.D. 20__.

NOTARY PUBLIC

CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, VILLAGE COLLECTOR OF THE VILLAGE OF GLEN ELLYN, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT GLEN ELLYN, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D. 20__.

VILLAGE COLLECTOR

VILLAGE BOARD CERTIFICATION

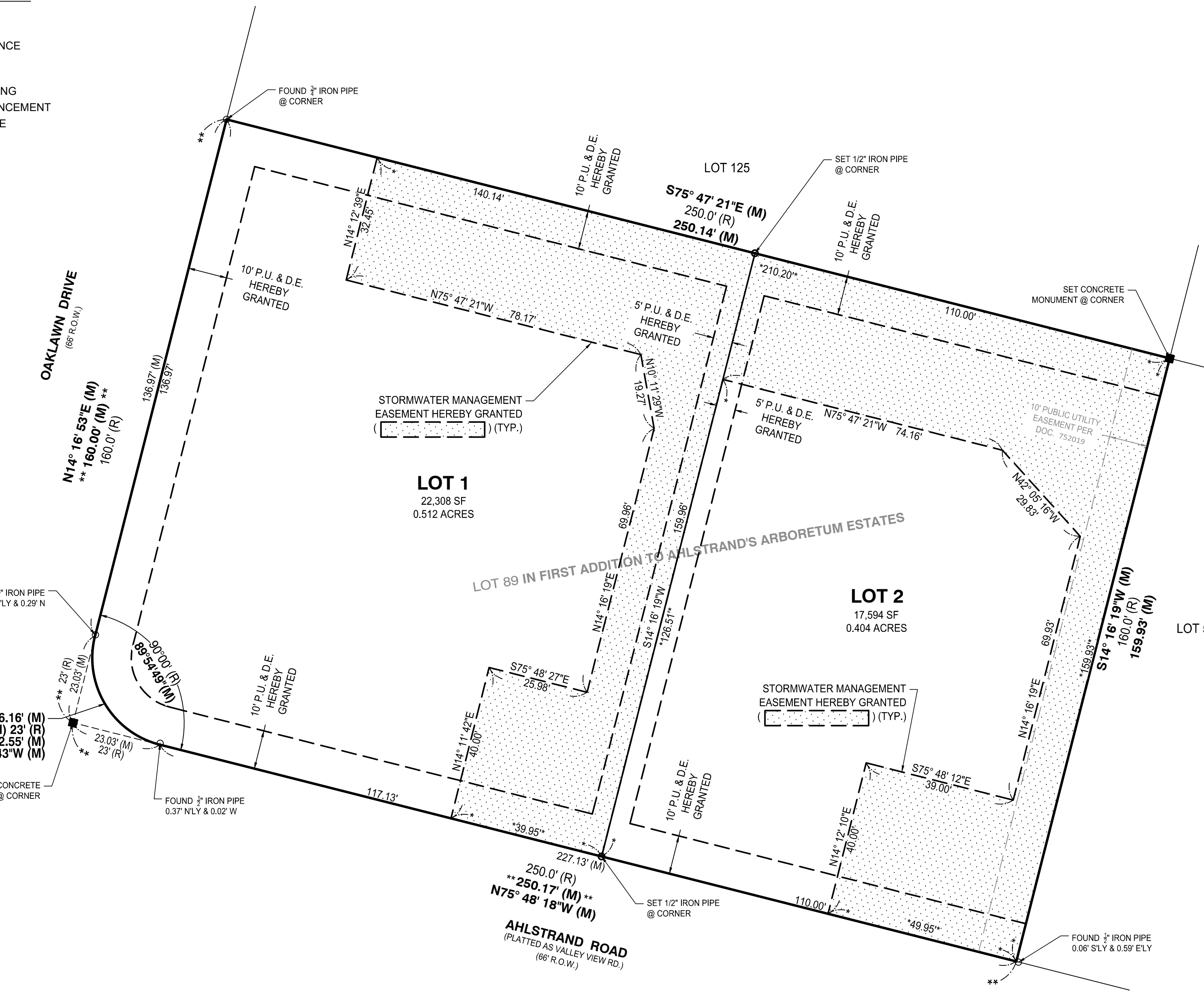
STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

APPROVED BY THE PRESIDENT AND VILLAGE BOARD OF THE VILLAGE OF GLEN ELLYN, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, 20__.

SIGNED _____ ATTEST _____
PRESIDENT CLERK

I, _____, VILLAGE CLERK OF THE VILLAGE OF GLEN ELLYN, ILLINOIS, DO HEREBY CERTIFY THAT THE ANNEXED PLAT WAS PRESENTED TO AND BY ORDINANCE DULY APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF GLEN ELLYN, AT ITS MEETING HELD ON _____, A.D. 20__ IN WITNESS WHEREOF I HAVE HEREUNTO SET THE SEAL OF THE VILLAGE OF GLEN ELLYN, ILLINOIS.

VILLAGE CLERK



STORMWATER MANAGEMENT EASEMENT PROVISIONS

EASEMENTS ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF GLEN ELLYN FOR PURPOSES OF PROVIDING ADEQUATE STORMWATER DRAINAGE CONTROL, TOGETHER WITH REASONABLE ACCESS THERETO. SAID EASEMENTS SHALL BE PERPETUAL AND SHALL RUN WITH THE LAND AND SHALL BE BINDING UPON THE DECLARANT, ITS SUCCESSORS, HEIRS, EXECUTORS AND ASSIGNS. TO ENSURE THE INTEGRITY OF THE STORMWATER FACILITIES, NO OBSTRUCTION SHALL BE PLACED, NOR ALTERATIONS MADE, INCLUDING ALTERATIONS IN THE FINAL TOPOGRAPHICAL GRADING PLAN WHICH IN ANY MANNER IMPEDE OR DIMINISH STORMWATER DRAINAGE OR STORAGE IN, OVER, UNDER, THROUGH OR UPON SAID EASEMENT AREAS. IN THE EVENT SUCH OBSTRUCTION OR ALTERATIONS ARE FOUND TO EXIST, OR IF THE PROPERTY OWNER OTHERWISE FAILS TO PROPERLY MAINTAIN THE STORMWATER FACILITIES AND EASEMENTS OR CHANGES THE CHARACTER OF THE STORMWATER FACILITY, THE VILLAGE OF GLEN ELLYN SHALL, UPON SEVENTY-TWO (72) HOURS PRIOR NOTICE TO THE PROPERTY OWNER, HAVE THE RIGHT, BUT NOT THE DUTY, TO PERFORM, OR HAVE PERFORMED IN ITS BEHALF, ANY MAINTENANCE WORK TO OR UPON THE STORMWATER FACILITIES OR TO REMOVE SAID OBSTRUCTION OR ALTERATIONS OR TO PERFORM OTHER MAINTENANCE, REPAIR, ALTERATION OR REPLACEMENT AS MAY REASONABLY BE NECESSARY TO ENSURE THAT ADEQUATE STORMWATER STORAGE AND DRAINAGE FACILITIES, AND APPURTENANCES THERETO, REMAIN FULLY OPERATIONAL AND THAT THE CONDITION OF SAID THE FACILITIES AND EASEMENTS COMPLY WITH ALL APPLICABLE VILLAGE OF GLEN ELLYN AND DUPAGE COUNTY CODES. IN THE EVENT OF AN EMERGENCY SITUATION, AS DETERMINED BY THE VILLAGE OF GLEN ELLYN, THE SEVENTY-TWO (72) HOURS PRIOR NOTICE REQUIREMENT SET FORTH ABOVE SHALL NOT APPLY AND THE VILLAGE OF GLEN ELLYN SHALL HAVE THE RIGHT, BUT NOT THE DUTY, TO PROCEED WITHOUT NOTICE TO THE PROPERTY OWNER, IN THE EVENT THE VILLAGE OF GLEN ELLYN SHALL BE REQUIRED TO PERFORM, OR HAVE PERFORMED ON ITS BEHALF ANY MAINTENANCE WORK TO OR UPON THE STORMWATER FACILITIES AND EASEMENTS AS SET FORTH IN THE DECLARATION, OR ANY REMOVAL OR ALTERATION AS AFORESAID, THE COST OF SUCH WORK SHALL, UPON RECORDATION OF NOTICE OF LIEN WITH THE RECORDER OF DEEDS OF DUPAGE COUNTY, ILLINOIS, CONSTITUTE A LIEN AGAINST THE ASSETS OF THE PROPERTY OWNER. IN ADDITION, THE AREA DISTURBED BY THE SAID MAINTENANCE OPERATIONS, SHALL BE RE-PLANTED BY THE PROPERTY OWNER WITH THE MATERIALS ON THE APPROVED LANDSCAPE PLAN.

PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF GLEN ELLYN ("VILLAGE") AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE VILLAGE INCLUDING, BUT NOT LIMITED TO, COMMONWEALTH EDISON COMPANY, NICOR GAS COMPANY, ASTOUND/RCN, ILLINOIS BELL TELEPHONE COMPANY DBA A.T.&T. CABLE COMPANY, COMCAST AND THEIR SUCCESSORS AND ASSIGNS OVER ALL THE AREAS MARKED "PUBLIC UTILITY AND DRAINAGE EASEMENT" ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE, AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, SURVEY, REPAIR, INSPECT, MAINTAIN, AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS AND INCLUDING WATER MAINS, STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES, AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OVER, UPON, ALONG, UNDER, AND THROUGH, SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY WORKERS AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM, OR REMOVE ANY TREES, SHRUBS, PLANTS, FENCES, PAVEMENT OR OTHER IMPROVEMENTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES WITH NO REQUIREMENT TO RESTORE BY THE VILLAGE. NO PERMANENT STRUCTURES SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED AT THE OWNER'S RISK FOR GARDENS, SHRUBS, LANDSCAPING, OR OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

WHERE AN EASEMENT IS USED FOR BOTH VILLAGE MAINS AND SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES, CODE, AND REGULATIONS OF THE VILLAGE OF GLEN ELLYN AND ALL OTHER APPLICABLE LAW.

AREA TABLE

| | |
|-----------------------|----------------------|
| PROPOSED LOT 1 | 22,308 SF / 0.512 AC |
| PROPOSED LOT 2 | 17,594 SF / 0.404 AC |
| TOTAL AREA SUBDIVIDED | 39,902 SF / 0.916 AC |

NOTES:

- ALL MEASURED BEARINGS SHOWN HEREON ARE BASED ON NAD 83 ILLINOIS COORDINATE SYSTEM, EAST ZONE (2011 CORRECTION) AS DETERMINED BY USE OF GPS EQUIPMENT USING TRIMBLE'S VRS NETWORK AND EQUIPMENT.
- SURVEY FIELD WORK COMPLETED ON 6-13-2025.
- ALL MONUMENT TIES ARE MEASURED PERPENDICULAR TO THE PROPERTY LINE(S).

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. GIVEN UNDER MY HAND AND SEAL AT WHEATON, DUPAGE COUNTY, ILLINOIS, THIS _____ DAY OF _____, A.D. 20__.

COUNTY CLERK

RECORDER CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY AFORESAID, ON THIS _____ DAY OF _____, A.D., 20__ AT _____ O'CLOCK ____ M.

RECORDER

STATE OF ILLINOIS)
COUNTY OF KANE) SS

THIS IS TO CERTIFY THAT I, JIANFENG HUA, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:
LOT 89 IN FIRST ADDITION TO AHLSTRAND'S ARBORETUM ESTATES, BEING A SUBDIVISION OF PART OF SECTIONS 26 AND 27, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 6, 1955 AS DOCUMENT 752019, IN DUPAGE COUNTY, ILLINOIS.

AS SHOWN BY THE ANNEXED PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE VILLAGE BOARD RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF GLEN ELLYN WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE II OF ILLINOIS MUNICIPAL CODE AS HERETOFORE AND HEREAFTER AMENDED AND THAT BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP COMMUNITY PANEL 17043C0154J WITH AN EFFECTIVE DATE OF 08/01/2019, IT IS MY OPINION THAT THE PROPERTY PLATTED HEREON IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA.

I HEREBY AUTHORIZE A REPRESENTATIVE FROM THE VILLAGE OF GLEN ELLYN TO RECORD THIS PLAT.
GIVEN UNDER MY HAND AND SEAL AT MONTGOMERY, ILLINOIS THIS 9TH DAY OF JULY, A.D. 2025.

RIDGELINE CONSULTANTS LLC

JIANFENG HUA, PLS #035-004071
MY LICENSE EXPIRES 11-30-2026
ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-004786
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY

| | | | |
|-------------|-----------|---------|------|
| BOOK | DWG. SIZE | CHECKED | DATE |
| DRAWN | REVIEWED | CHECKED | DATE |
| DATE | DATE | DATE | DATE |
| PROJECT NO. | 2025-0189 | | |

Ridgeline Consultants LLC
1081 Ahsland Road, Montgomery, IL 60538
PH: 630.601.7827 FAX: 630.701.1355
Jianfeng Hua P.L.S. 4071 Expiration Date: 11/30/2026
Shuyi L. Shewer P.L.S. 4949 Expiration Date: 11/30/2026

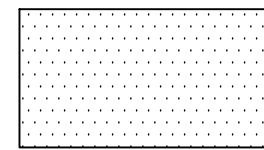






PREPARED FOR:
LA GAMBINA HOMES
PROPERTY ADDRESS:
22W684 AHLSTRAND ROAD
GLEN ELLYN, ILLINOIS

Site Improvement Plans for ANGELA'S SUBDIVISION

PIN#: 05-26-303-007

PROPOSED SYMBOL LEGEND

| | |
|---------------------------------|---|
| STORM SEWER/SERVICE | —>>— |
| SANITARY FORCED SERVICE | —>— |
| WATER MAIN/SERVICE | —W— |
| SIGN | ⊖ |
| DIRECTION OF FLOW | → |
| SPOT/PAVEMENT ELEVATION | +652.3 OR +P652.3 |
| TOP OF CURB ELEVATION | C756.45 |
| TOP OF DEPRESSED CURB ELEVATION | C756.45(D) |
| PAVEMENT ELEVATION | P756.45 |
| EX. ELEVATION TO BE MAINTAINED | (756.45) |
| ASPHALT PAVEMENT |  |
| 6" CONCRETE PAVEMENT |  |
| VALVE IN VAULT |  |
| SANITARY MANHOLE |  |
| FLARE END SECTION |  |

LEGAL DESCRIPTION:
LOT 89 IN FIRST ADDITION TO AHLSTRAND'S ARBORETUM ESTATES, BEING A SUBDIVISION OF PART OF SECTIONS 26 AND 27, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 6, 1955 AS DOCUMENT 752019, IN DUPAGE COUNTY, ILLINOIS.
COMMONLY KNOWN AS 22W584 AHLSTRAND ROAD, GLEN ELLYN, ILLINOIS.



INDEX OF SHEETS

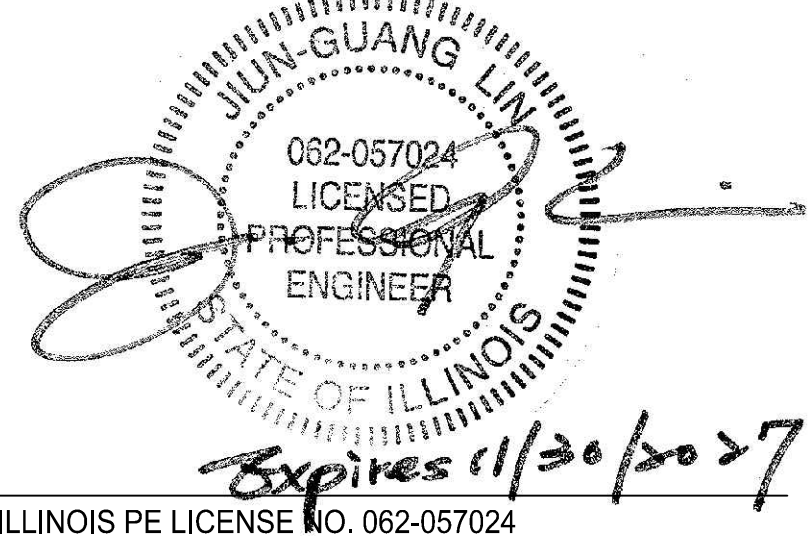
| SHEET NO. | DESCRIPTION |
|-----------|---|
| 1 | TITLE SHEET |
| 2 | BOUNDARY / TOPOGRAPHIC SURVEY & DEMOLITION PLAN |
| 3 | TREE PRESERVATION PLAN |
| 4 | SITE & UTILITY PLAN |
| 5 | GRADING & EROSION CONTROL PLAN |
| 6 | SANITARY & WATER MAIN PROFILES |
| 7 | CONSTRUCTION DETAILS & NOTES |
| 8 | CONSTRUCTION DETAILS & NOTES |

SEE SHEET 2 FOR LEGEND OF EXISTING FEATURES & ABBREVIATIONS



STATE OF ILLINOIS)
COUNTY OF KANE) SS

I, JIUN-GUANG LIN OF RIDGELINE CONSULTANTS, LLC, DO HEREBY RENDER MY OPINION THAT THE DEVELOPMENT MEETS THE MINIMUM CRITERIA FOR STORMWATER MANAGEMENT IN ACCORDANCE WITH DUPAGE COUNTY AND THE VILLAGE OF GLEN ELLYN STORMWATER MANAGEMENT ORDINANCE. DATED AT MONTGOMERY, ILLINOIS ON OCTOBER 14, 2025



PLANS PREPARED FOR:
PH: (847)454-4778
LA GAMBINA HOMES
53 ST CHARLES RD.
VILLA PARK, IL 60181

| | | |
|-------------|------------|------------|
| BOOK | DWG. SIZE | D |
| DRAWN BY | CHECKED BY | JAL |
| DATE | DATE | 10-14-2025 |
| PROJECT NO. | | 2025-0189 |

Ridgeline Consultants LLC
1101 Westfield Road, Montgomery, IL 60538
PH: (630) 801-7827 FAX: (630) 701-1353
Jiun-Guang Lin, P.E., 4071 Expiration Date 11/30/2028
Shirley L. Shewell, P.L.S., 4419 Expiration Date 11/30/2028

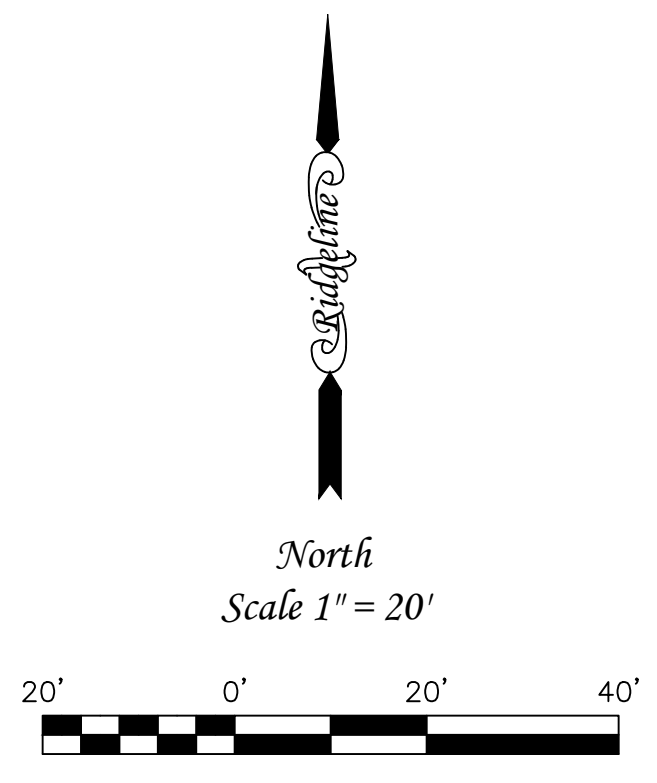


PREPARED FOR:
LA GAMBINA HOMES
PROPERTY ADDRESS: 22W584 AHLSTRAND ROAD
GLEN ELLYN, ILLINOIS

| | | | |
|-------|---|----|---|
| SHEET | 1 | OF | 8 |
|-------|---|----|---|

Boundary/Topographic Survey and Demolition Plan

LEGAL DESCRIPTION:
 LOT 89 IN FIRST ADDITION TO AHLSTRAND'S ARBORETUM ESTATES, BEING A SUBDIVISION OF PART OF SECTIONS 26 AND 27, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 6, 1955 AS DOCUMENT 752019, IN DUPAGE COUNTY, ILLINOIS.
 COMMONLY KNOWN AS 22WS84 AHLSTRAND ROAD, GLEN ELLYN, ILLINOIS.



SYMBOL LEGEND

- = ASPHALT
- = CONCRETE
- = DECIDUOUS TREE
- = GRAVEL
- = HYDRANT
- = MAIL BOX
- = PINE TREE
- = SIGN
- = WATER VALVE
- = WOOD
- = WOOD UTILITY POLE

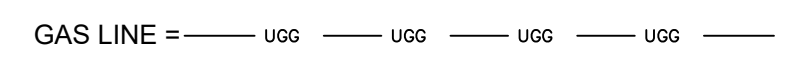
ABBREVIATION LEGEND

- BSL = BUILDING SETBACK LINE
- CHB = CHORD BEARING
- CHL = CHORD LENGTH
- CMP = CORRUGATED METAL PIPE
- CPP = CORRUGATED PLASTIC PIPE
- E = EAST
- ELY = EASTERLY
- FEX = FENCE CORNER
- (M) = MEASURED DISTANCE
- MT = MULTI TRUNK
- N = NORTH
- NLY = NORTHERLY
- (R) = RECORD DISTANCE
- R.O.W. = RIGHT OF WAY
- S = SOUTH
- S'LY = SOUTHERLY
- T/F = TOP OF FOUNDATION ELEVATION
- W = WEST
- WLY = WESTERLY

LINE TYPE LEGEND

- ADJACENT LOT LINE =
- BOUNDARY LINE =
- EASEMENT =
- FENCE =
- CENTERLINE BETWEEN POLES WITH OVERHEAD WIRES =

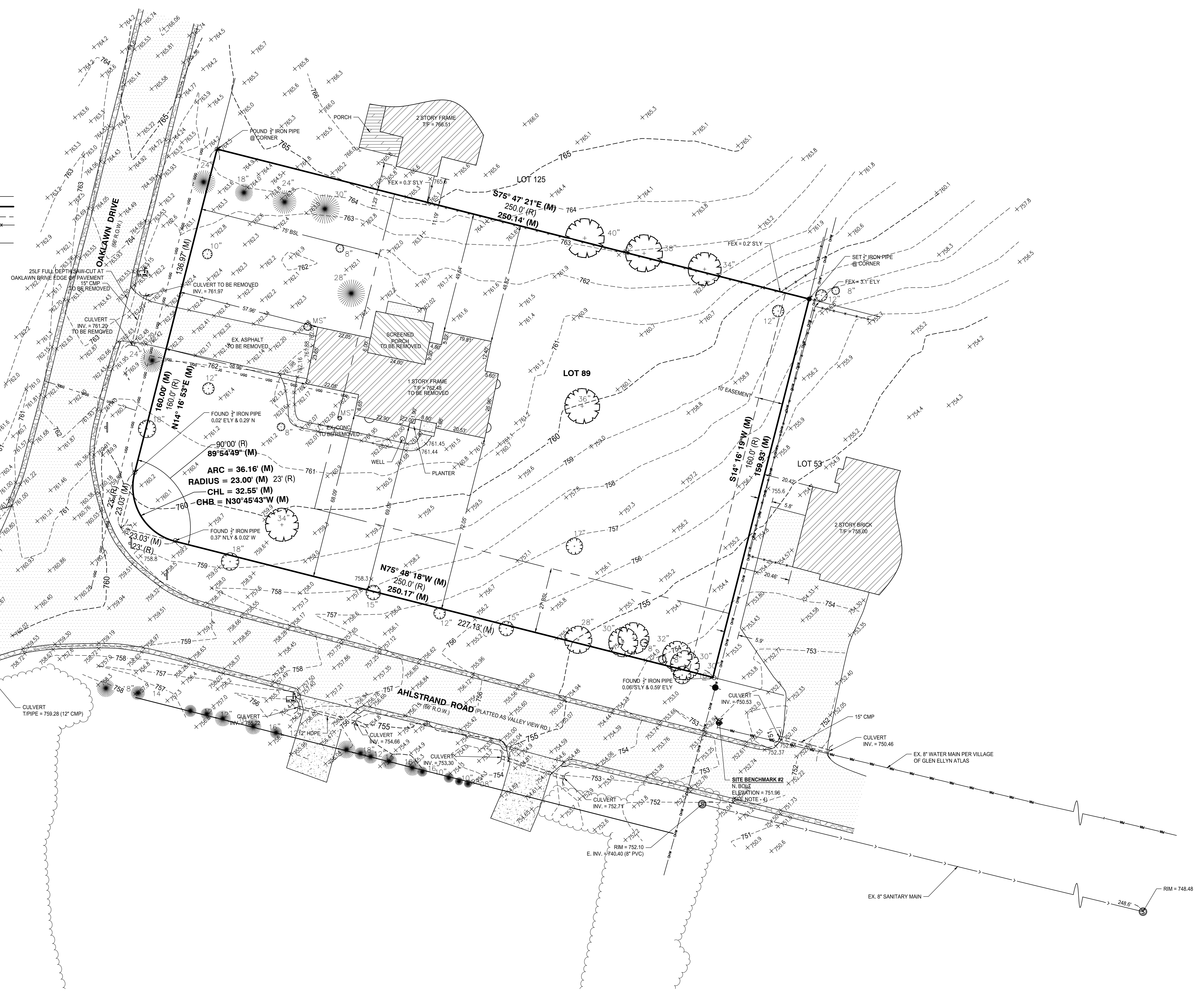
UNDERGROUND UTILITIES PER J.U.I.E.



NOTE: SEE TREE REMOVAL ON SHEET 3 OF 8

NOTES:

- 1) ALL MEASURED BEARINGS SHOWN HEREON ARE BASED ON NAD 83 ILLINOIS COORDINATE SYSTEM, EAST ZONE (2011 CORRECTION) AS DETERMINED BY USE OF GPS EQUIPMENT USING TRIMBLE VRS NETWORK AND EQUIPMENT.
- 2) CONTOUR INTERVAL = 1.0'
- 3) ELEVATIONS HEREON REFER TO NAVD 88 DATUM.
- 4) SOURCE BENCHMARK: VERTICAL ELEVATIONS SHOWN HEREON ARE IN NAVD 88 VERTICAL DATUM AS DETERMINED BY USE OF TRIMBLE'S VRS (GPS) NETWORK AND EQUIPMENT.
 SITE BENCHMARK #1: MAG NAIL IN CULVERT, (AS SHOWN ON DRAWING) ELEVATION = 759.72
 SITE BENCHMARK #2: N. BOLT ON FIRE HYDRANT, (AS SHOWN ON DRAWING) ELEVATION = 751.96
- 5) ALL UTILITIES MAY NOT BE SHOWN. CALL J.U.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY DIGGING OR CONSTRUCTION.
- 6) LOCATION OF ALL UTILITIES AND SUBSTRUCTURES ARE APPROXIMATELY BASED ON SURFACE EVIDENCE AND EXISTING PLANS, AS PROVIDED BY THE CLIENT AND UTILITY COMPANIES.
- 7) THIS PROPERTY WILL BE WITHIN THE LIMITS OF DUPAGE COUNTY AND AS SUCH IS SUBJECT TO ITS ZONING AND BUILDING RESTRICTIONS.
- 8) SURVEY FIELD WORK COMPLETED ON 6-13-2025.
- 9) ALL TREES LESS THAN 6 INCHES IN DIAMETER ARE NOT SHOWN HEREON.
- 10) PARCEL CONTAINS APPROXIMATELY 39,902 SQUARE FEET.
- 11) ALL MONUMENT TIES ARE MEASURED PERPENDICULAR TO THE PROPERTY LINE(S).
- 12) OVERHEAD WIRES SHOWN HEREON ARE DEPICTED BY CONNECTING CENTERLINE OF POLES. THE LOCATION IS NOT NECESSARILY THE EXACT LOCATION OF THE PHYSICAL WIRE STRAND AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.



| | | | | | |
|-----------|-----------------|---|------------|----------|--------------|
| BOOK: | DWG. SIZE: | DRAWN: | CHECKED: | DATE: | PROJECT NO.: |
| 12/24/25 | 1/8" = 1' = 20' | J. GAMBINA | J. GAMBINA | 12/24/25 | 2025-0189 |
| REVISION: | DATE: | DESC.: | | | |
| 1 | 12/24/25 | REVISION PER VILLAGE REVIEW COMMENTS DATED 11-13-25 | | | |
| 2 | 02/26/26 | REVISION PER VILLAGE REVIEW COMMENTS DATED 01-26-26 | | | |

Ridgeline Consultants LLC
 1081 Amador Road, Mount Pleasant, IL 62553
 PH: 630.801.9227 FAX: 630.701.1352
 Jambur@rcpl.com Website: www.rcpl.com
 Stacy L. Shewell, P.L.S., W.F.D. Expiration Date: 11/30/2026

PREPARED FOR:
LA GAMBINA HOMES
 22WS84 AHLSTRAND ROAD
 GLEN ELLYN, ILLINOIS

SHEET
2
 OF
8

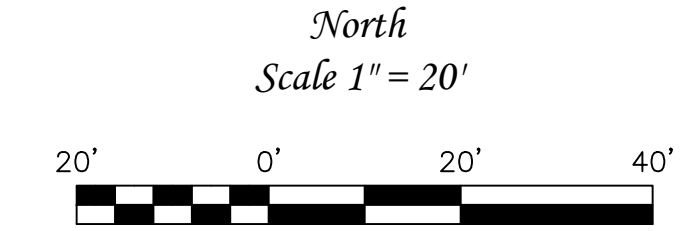
Tree Preservation Plan

TREE ACTION PLAN

| Tree No. | Tree Description | | D.B.H.* Diameter at Breast Height | Public Tree | Classification | | | | | | Action |
|----------|------------------|-----------|---|-------------|----------------|---------------------------|---------------|------------------|--------|------------|--------|
| | Species | Condition | | | Private Tree | Adjacent Property Tree | Imagined Tree | Significant Tree | Remove | Root Prune | |
| 1 | SPRUCE | EXCELLENT | 24" | X | | | | | | | |
| 2 | LOCUST | GOOD | 12" | X | | | | | | X | |
| 3 | MAPLE | EXCELLENT | 18" | X | | | | | | | |
| 4 | MAGNOLIA | POOR | 8" | X | | | | | | | X |
| 5 | MAPLE | FAIR | 18" | X | | | | | | | |
| 6 | OAK | GOOD | 34" | X | | | | | | | X |
| 7 | MAGNOLIA | EXCELLENT | MS | X | | | | | | | X |
| 8 | GINKGO | EXCELLENT | 15" | X | | | | | | | X |
| 9 | MULBERRY | EXCELLENT | 12" | X | | | | | | | X |
| 10 | WALNUT | EXCELLENT | 15" | X | | | | | | | X |
| 11 | BALD CYPRESS | EXCELLENT | 28" | X | | | | | | | X |
| 12 | MAPLE | GOOD | 17" | X | | | | | | | |
| 13 | MAPLE | EXCELLENT | 18" | X | | | | | | | |
| 14 | MAPLE | EXCELLENT | 30" | X | | | | | | | |
| 15 | MAPLE | EXCELLENT | 15" | X | | | | | | | |
| 16 | MAPLE | EXCELLENT | 30" | X | | | | | | | |
| 17 | MULBERRY | FAIR | MS | X | | | | | | | X |
| 18 | ELM | GOOD | 32" | X | | | | | | | |
| 19 | MAPLE | GOOD | 30" | X | | | | | | | |
| 20 | MAPLE | EXCELLENT | 36" | X | | | | | | | X |
| 21 | BUCKTHORN | GOOD | 12" | X | | | | | | | |
| 22 | HACKBERRY | EXCELLENT | 12" | X | | | | | | | |
| 23 | MAPLE | EXCELLENT | 8" | X | | | | | | | |
| 24 | MAPLE | EXCELLENT | 34" | X | | | | | | | X |
| 25 | MAPLE | EXCELLENT | 38" | X | | | | | | | X |
| 26 | MAPLE | EXCELLENT | 40" | X | | | | | | | X |
| 27 | SPRUCE | EXCELLENT | 28" | X | | | | | | | |
| 28 | MAGNOLIA | GOOD | 8" | X | | | | | | | X |
| 29 | MAGNOLIA | GOOD | MS | X | | | | | | | X |
| 30 | SPRUCE | EXCELLENT | 30" | X | | | | | | | |
| 31 | SPRUCE | EXCELLENT | 24" | X | | | | | | | |
| 32 | SPRUCE | EXCELLENT | 18" | X | | | | | | | |
| 33 | SPRUCE | EXCELLENT | 24" | X | | | | | | | |
| 34 | MAGNOLIA | EXCELLENT | 10" | X | | | | | | | |

* The diameter of the trunk of the tree measured at a point at least 4.5 feet above ground level.

Prepared by: *Michael R. Bowling* ISA Certification No. IL-5167A



THIS WORK MUST COMPLY WITH THE FOLLOWING REQUIREMENTS:

- CALL J.U.L.I.E. AT 1-800-992-0123 FOR UTILITY LOCATIONS BEFORE DIGGING OR TREE PLANTING.
- PROTECTIVE TREE SECURITY AND SILT FENCING MUST BE INSPECTED AND APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AT 630-547-5250.
- FOR A NEW PRINCIPAL STRUCTURE, AN APPROVED TREE PRESERVATION PLAN SHALL BE POSTED ON THE BUILDING SITE WITHIN FIVE (5) FEET OF THE FRONT PROPERTY LINE BEFORE A BUILDING PERMIT IS ISSUED AND SHALL REMAIN IN PLACE THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION OF THE PROJECT. THIS SIGN MUST BE POSTED AS SHOWN IN THE ARBORICULTURAL SPECIFICATIONS MANUAL. THE PERMIT APPLICANT SHALL BE RESPONSIBLE FOR NOTIFYING ALL OTHER CONTRACTORS WORKING ON THE PROPERTY OF THE TREE PRESERVATION PLAN.
- THE APPLICANT SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS OF THE PROPOSED CONSTRUCTION PROJECT AND THAT A TREE PRESERVATION PLAN HAS BEEN PREPARED AND IS AVAILABLE FOR REVIEW AT THE PLANNING AND DEVELOPMENT DEPARTMENT OF THE VILLAGE OF GLEN ELLYN. A COPY OF SUCH NOTIFICATION ALONG WITH A LIST OF ADDRESSES IT WAS DELIVERED TO MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- NO BALLED OR BURLAPPED PLANTS SHALL BE INSTALLED IN THE CRITICAL ROOT ZONE OF PROTECTED TREES.
- NO SOIL IS TO BE ADDED TO OR REMOVED FROM WITHIN CRITICAL ROOT ZONE ON ANY PROTECTED, SIGNIFICANT OR ADJACENT PROPERTY TREE THAT IS TO REMAIN UNLESS SHOWN ON THE APPROVED TREE PRESERVATION PLAN.
- NO CONSTRUCTION ACTIVITY, MOVEMENT, AND/OR PLACEMENT OF EQUIPMENT OR MATERIAL OR SPOILS STORAGE SHALL BE PERMITTED WITHIN THE CRITICAL ROOT ZONES OF PROTECTED OR SIGNIFICANT TREES OR ON THE PUBLIC RIGHT-OF-WAY UNLESS SHOWN ON THE APPROVED TREE PRESERVATION PLAN.
- TREE, SILT, AND SECURITY FENCING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION FOR THE PROTECTION OF PROTECTED, ADJACENT PROPERTY, SIGNIFICANT AND IMPACTED TREES. TREE FENCE FOR UNPROTECTED TREES SHOULD REMAIN IN PLACE THROUGHOUT CONSTRUCTION; EXCEPT WHEN DIRECT ACCESS IS NECESSARY. BEFORE ENTERING CRITICAL ROOT ZONE AREA, NOTIFY THE FORESTRY CONSULTANT.
- ALL REQUIRED TREE, SILT, AND SECURITY FENCING MUST REMAIN IN PLACE UNTIL THE TIME OF FINAL GRADING AND LANDSCAPING AND CAN ONLY BE REMOVED UPON REVIEW AND APPROVAL BY THE FORESTRY CONSULTANT.
- ATTACHMENTS (WIRES, FENCES, ETC.) OTHER THAN THOSE APPROVED FOR GUYING, BRACING OR WRAPPING MUST NOT BE ATTACHED TO PROTECTED OR SIGNIFICANT TREES.
- THE CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE FOR TAKING MEASURES TO MINIMIZE DAMAGE TO TREE LIMBS, TREE TRUNKS, AND TREE ROOTS LOCATED IN THE PARKWAY.
- TEMPORARY TREE FENCING SHALL BE ERECTED AT THE JOB SITE AS IDENTIFIED ON THE PLAN. THE FENCE SHOULD BE MADE OF 48 INCH HIGH, HIGHLY VISIBLE PLASTIC TYPE MESH OR WOOD SLATS. ALL FENCE WILL BE INSTALLED WITH METAL POSTS LOCATED NO MORE THAN 10' APART. WHEN POSSIBLE, THE ENTIRE DRIPLINE OF CRITICAL ROOT ZONE OF THE TREE MUST BE FENCED. THE FENCE SHALL BE PROPERLY MAINTAINED AND SHALL REMAIN ERECT UNTIL COMPLETION OF THE CONSTRUCTION PROJECT.
- ALL UTILITIES INSTALLED WITHIN THE CRITICAL ROOT ZONE OF PARKWAY TREES ARE REQUIRED TO BE AUGERED IN ACCORDANCE WITH THE ATTACHED AUGERING SPECIFICATIONS. TRENCHING IS PROHIBITED. ALTERNATIVE METHODS FOR INSTALLATION MUST BE APPROVED BY THE FORESTRY CONSULTANT.
- PARKWAY TREES SHALL NOT BE PRUNED OR REMOVED WITHOUT WRITTEN PERMISSION FROM THE VILLAGE FORESTER OR DESIGNEE.
- ALL WORK OR ACTIVITIES THAT IMPACTS PUBLIC TREES MUST BE COMPLETED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS PUBLISHED IN THE VILLAGE OF GLEN ELLYN ARBORICULTURAL SPECIFICATIONS MANUAL, ORDINANCE 5963.



| | | | |
|--------------|------------|----------|------------|
| BOOK: | DWG. SIZE: | CHECKED: | DATE: |
| DRAWN: | CAM | JEL | 10-14-2025 |
| REFERENCE: | | | |
| PROJECT NO.: | | | 2025-0189 |

| | | |
|-----------|----------|---|
| REVISION: | DATE: | DESC: |
| 1 | 12/24/25 | REVISION PER VILLAGE REVIEW COMMENTS DATED 11-13-25 |
| 2 | 02-26-26 | NO CHANGES MADE TO THIS SHEET |

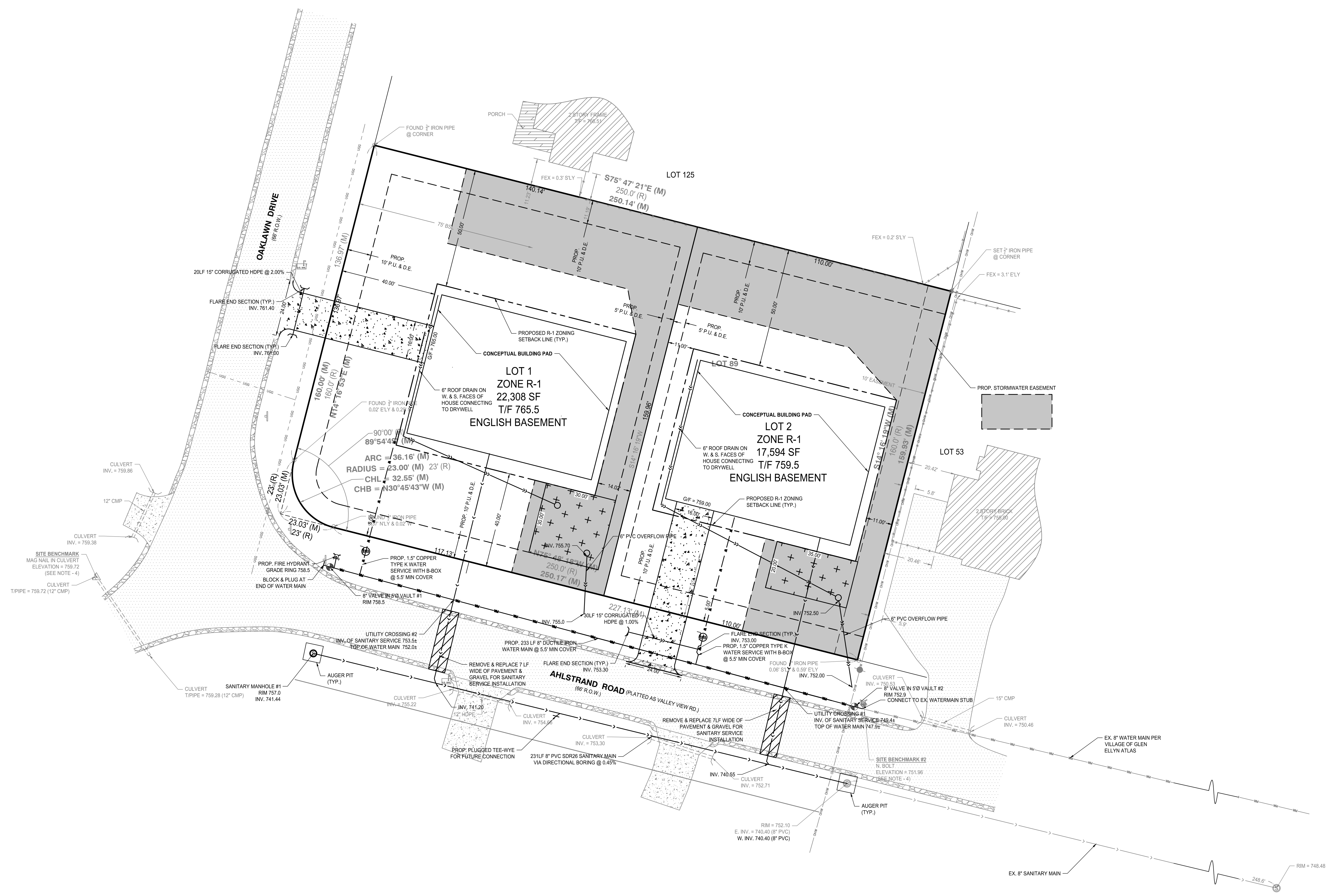
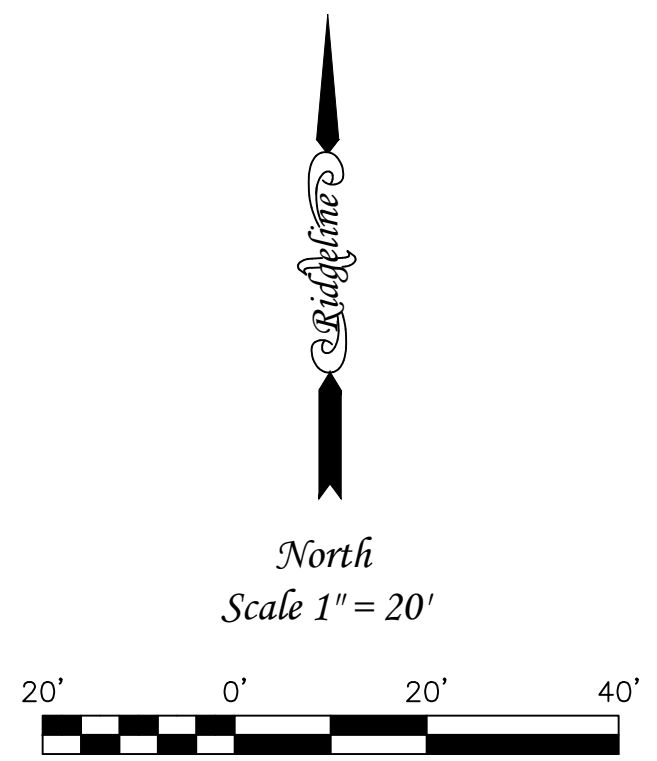
Prepared for: **LA GAMBINA HOMES**
 PROPERTY ADDRESS: **22W584 AHLSTRAND ROAD**
GLEN ELLYN, ILLINOIS

Prepared by: **Ridgeline Consultants LLC**
 1181 Marshall Road, Morton, IL 62556
 PH: 630.901.9227 FAX: 630.701.1385
 Jambing-Har P.L.S. 4071 Exposition Drive 113002026
 Stacy L. Shewell P.L.S. 4145 Exposition Drive 11302026

SHEET **3** OF **8**

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Site/Utility Plan



| REVISION | DATE | DESC. |
|----------|----------|---|
| 1 | 12/28/25 | REUSED PER VALLEGE REVIEW COMMENTS DATED 11/13/25 |
| 2 | 02/26/26 | REUSED PER VALLEGE REVIEW COMMENTS DATED 01/26/26 |

Ridgeline Consultants LLC
 11811 Ahlstrand Road, Mundelein, IL 60068
 PH: 830.801.9227 FAX: 830.701.1355
 Jambing-Har P.L.S. 4071 Expiration Date: 1/30/2026
 Stacy L. Shewell P.L.S. 4474 Expiration Date: 1/30/2026



PREPARED FOR:
LA GAMBINA HOMES
 PROPERTY ADDRESS: 22W684 AHLSTRAND ROAD
 GLEN ELLYN, ILLINOIS

SHEET
4
 OF
8

Grading & Erosion Control Plan



North
Scale 1" = 20'



EROSION CONTROL NOTES:

- A) SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- B) VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO THE EXISTING APRON OR APPROVED GRAVEL ACCESS AND GRAVEL DRIVE. SAID ACCESS AND DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE TOP OF FOUNDATION.
- C) ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- D) THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
- E) IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- F) STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OF FILTER CONTROL DEVICES DURING CONSTRUCTION.
- G) WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.



PRELIMINARY PCBMP DESIGN:

LOT 1:
 NEW IMPERVIOUS AREA ASSUMING 40% IMPERVIOUS AREA RATIO: 8,923 SF
 REQUIRED PCBMP VOLUME: 8,923 SF X 1.25" = 929 CF
 PROVIDED PCBMP VOLUME VIA A 30' X 30' X 3' (D) DRYWELL: 972 CF (36% POROSITY ASSUMED)

LOT 2:
 NEW IMPERVIOUS AREA ASSUMING 40% IMPERVIOUS AREA RATIO: 7,038 SF
 REQUIRED PCBMP VOLUME: 7,038 SF X 1.25" = 733 CF
 PROVIDED PCBMP VOLUME VIA A 35' X 20' X 3' (D) DRYWELL: 756 CF (36% POROSITY ASSUMED)

| | | | |
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| BOOK: | DWG. SIZE: | CHECKED: | JAL |
| DRAWN: | CAM | DATE: | 10-14-2025 |
| REVISION: | DATE: | DESC: | REVISION PER VALUEREVIEW COMMENTS DATED 11-13-25 |
| 1 | 10-29-25 | | REVISION PER VALUEREVIEW COMMENTS DATED 01-20-26 |
| 2 | 10-29-25 | | |

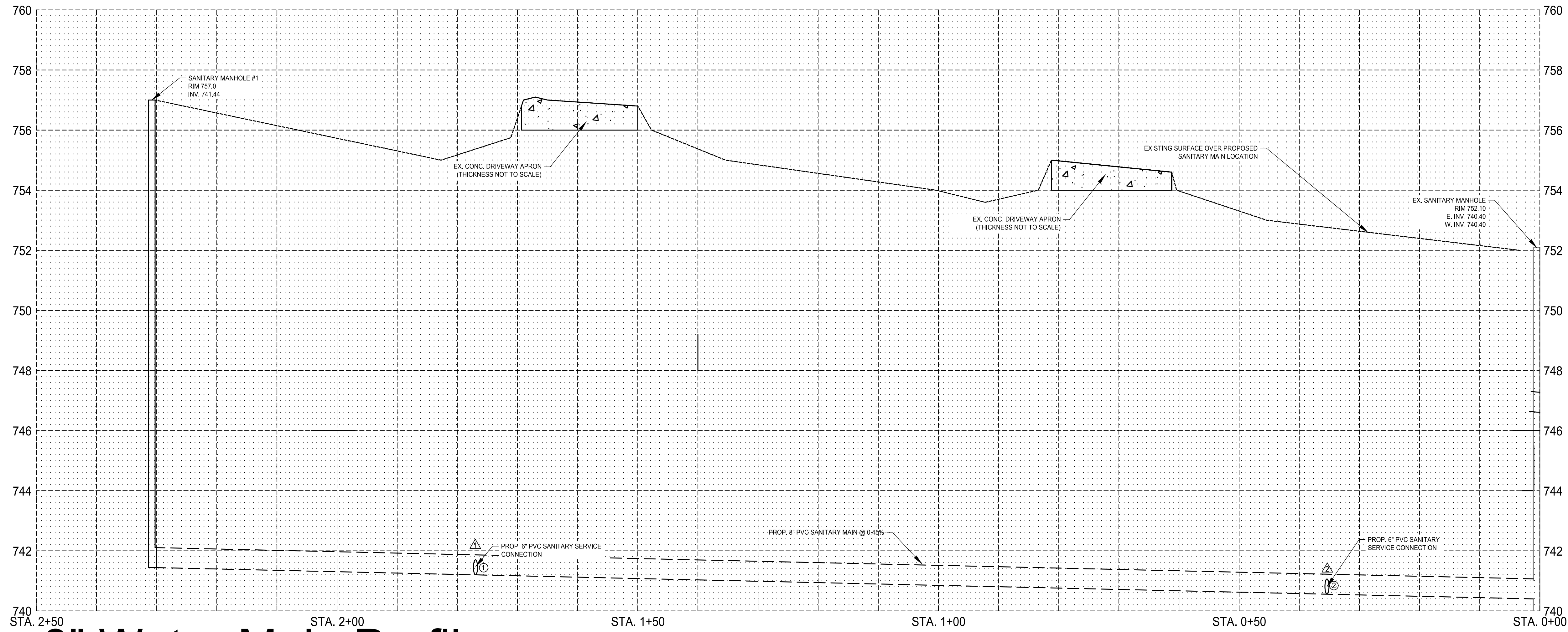
Ridgeline Consultants LLC
 1081 Ashcroft Road, Mokena, IL 60458
 PH: 815.801.9227 FAX: 815.801.1385
 Jambiro-Har P.L.S. 4071 Expiration Date: 11/30/2026
 Stacy L. Shewer P.L.S. 4474 Expiration Date: 11/30/2026



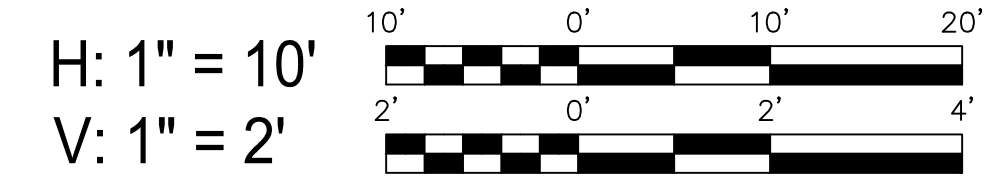
PREPARED FOR:
LA GAMBINA HOMES
 PROPERTY ADDRESS:
22W684 AHLSTRAND ROAD
GLEN ELLYN, ILLINOIS

8" Sanitary Main Profile

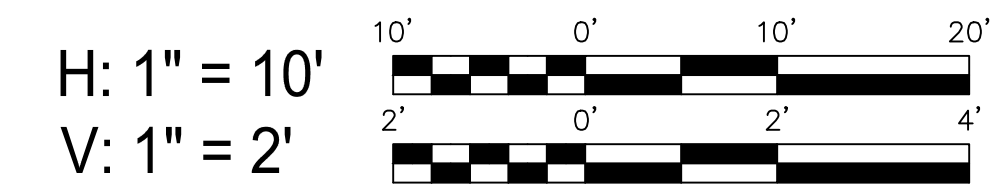
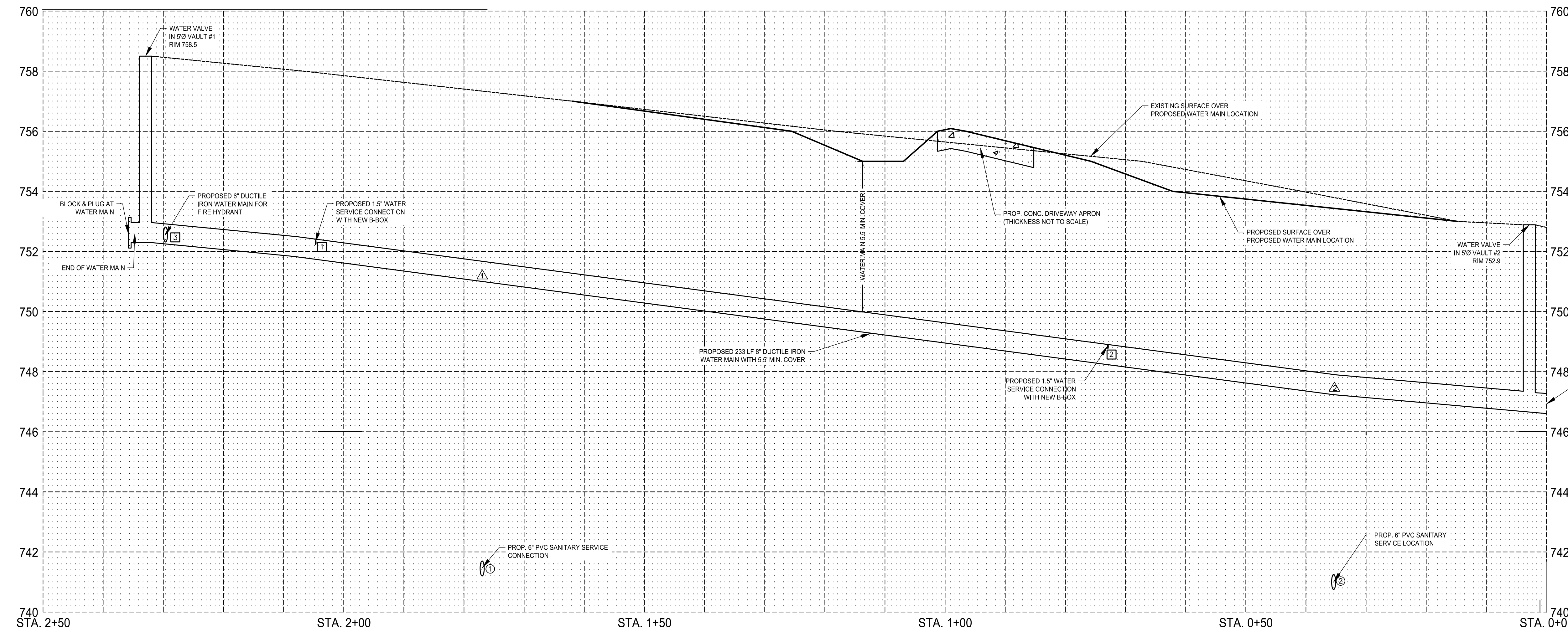
Sanitary & Water Main Profiles



- WATER
- △ UTILITY CROSSING
 - 1 INV. SANITARY SEWER 753.5±
TOP OF WATER MAIN 752.0±
 - 2 INV. SANITARY SEWER 749.4±
TOP OF WATER MAIN 747.9±
- SANITARY
 - 1 INV. 741.20 (NORTH)
 - 2 INV. 740.55 (NORTH)



8" Water Main Profile



| | | | |
|------------------|------------------|-------------------------------|-----------------------|
| BOOK: | DWG. SIZE: D | CHECKED: JEL | PROJECT NO. 2025-0189 |
| DRAWN: CWM | DATE: 10-14-2025 | NO CHANGES MADE TO THIS SHEET | |
| DATE: 10-14-2025 | DATE: 10-14-2025 | | |

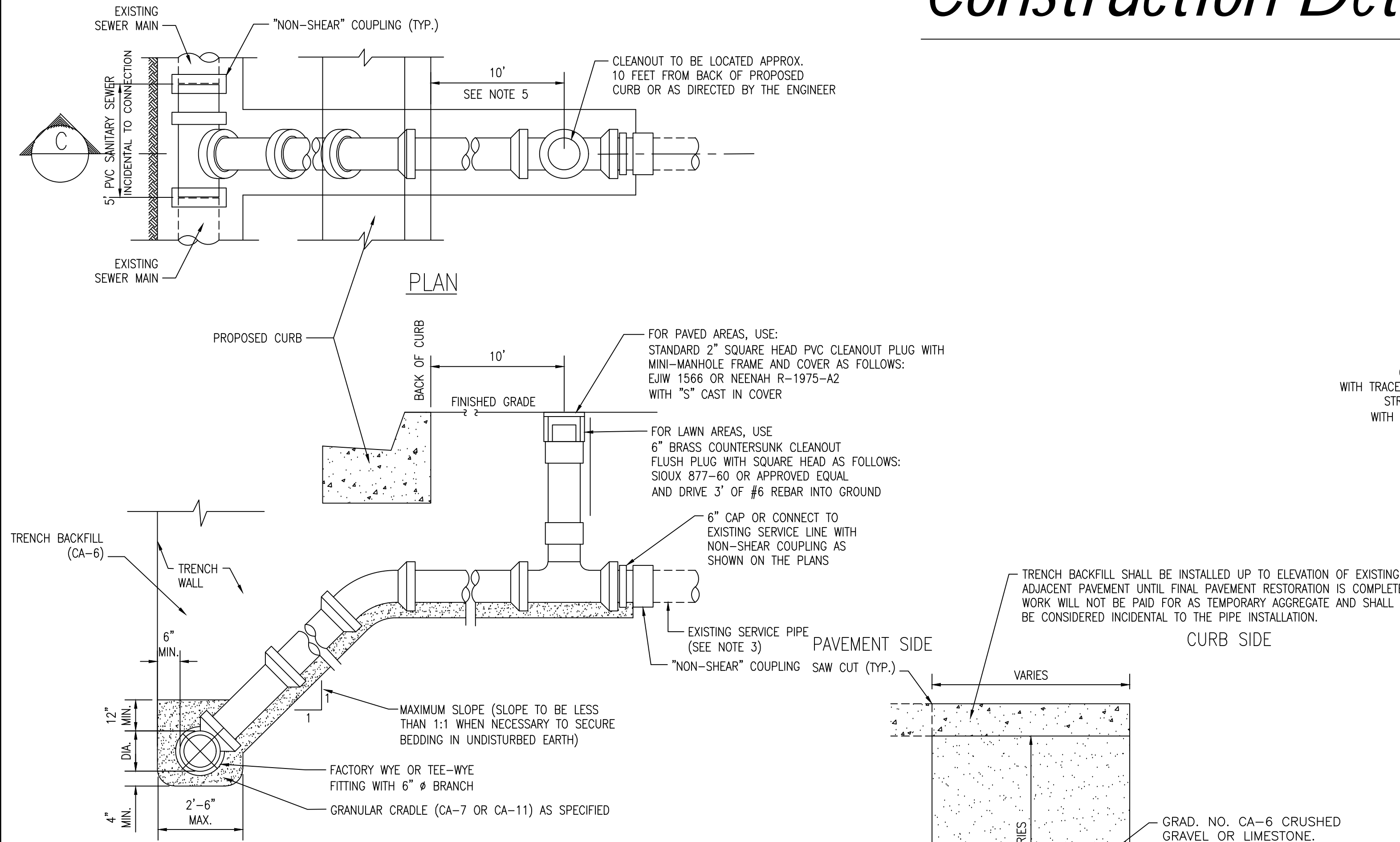
Ridgeline Consultants LLC
1081 Marshall Road, Mount Pleasant, IL 62552
PH: 630.601.9277 FAX: 630.701.1352
Jaiming Huai P.E., S.E. 4071 Expiration Date: 11/30/2026
Sally L. Shriver P.E., S.E. 4149 Expiration Date: 11/30/2026

Ridgeline CONSULTANTS
CONSULTING ENGINEERS - LAND SURVEYORS

PREPARED FOR:
LA GAMBINA HOMES
PROPERTY ADDRESS: 22W584 AHLSTRAND ROAD
GLEN ELLYN, ILLINOIS

SHEET
6
OF
8

Construction Details & Notes



- NOTES:
1. THE OPEN ENDS SHALL BE PROTECTED FROM DEBRIS ENTERING THE LATERAL.
 2. MAXIMUM SLOPE SHALL BE LESS THAN 1:1 WHEN IT IS NECESSARY TO SECURE BEDDING IN UNDISTURBED EARTH.
 3. REPAIR ADDITIONAL LENGTH OF SEWER AS DIRECTED BY ENGINEER. PAID FOR AS "SANITARY SEWER SERVICE PIPE, 6" PVC, SDR26".
 4. SANITARY SEWER SERVICE SHALL BE EXTENDED TO 10 FEET BEYOND THE NEW BACK OF CURB.

SECTION C
SANITARY SEWER SERVICE CONNECTION (EXISTING MAIN)
NOT TO SCALE

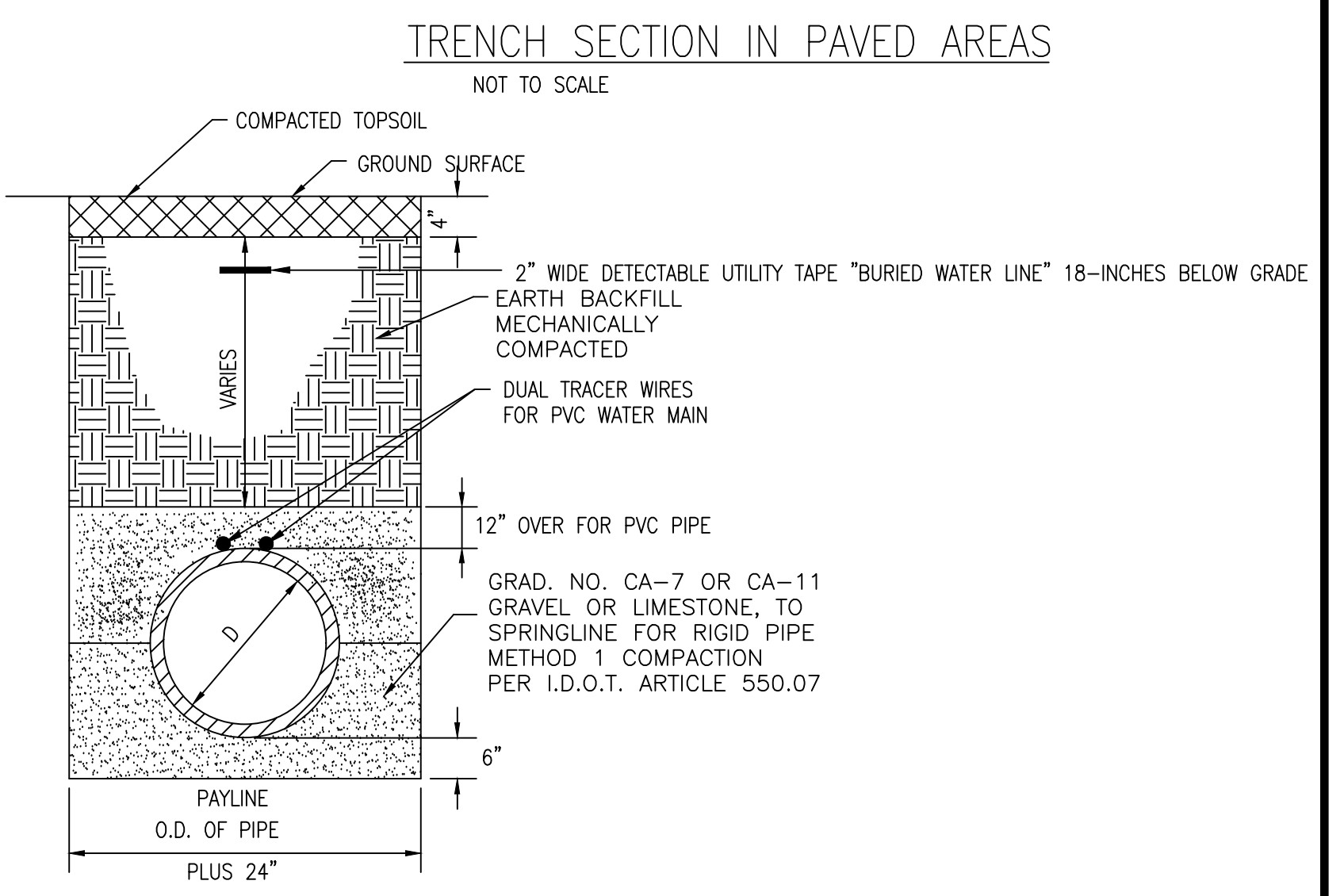
Additional Notes

1. Erosion control blanket shall be applied on any disturbed areas that will be graded.
2. Completed slopes shall be seeded and blanketed as the excavation proceeds to the extent considered desirable and practical. Permanent seeding shall be used whenever possible. Under no circumstances shall the contractor prolong final grading and sloping so that the entire project can be permanently seeded at one time.
3. In areas where work is complete, permanent stabilization shall occur within 7 days of completion, and in areas where work has temporarily ceased for 30 days or more, temporary stabilization shall occur by the 14th day after work has ceased.
4. All erosion control measures must be inspected weekly and after each 1/2" rain event.
5. All adjacent streets must be kept clear of debris, impounded daily, and cleaned when necessary.
6. Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed according to minimum standards and specifications in the Illinois Urban Manual revised February 2002.
7. The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the County Inspector or Township Highway Department.
8. It is the responsibility of the general contractor to inform and sub-contractor(s) who may perform work on this project, of the requirements in implementing and maintaining these erosion control plans and the National Pollutant Discharge Elimination System (NPDES) permit requirements set forth by the Illinois EPA.

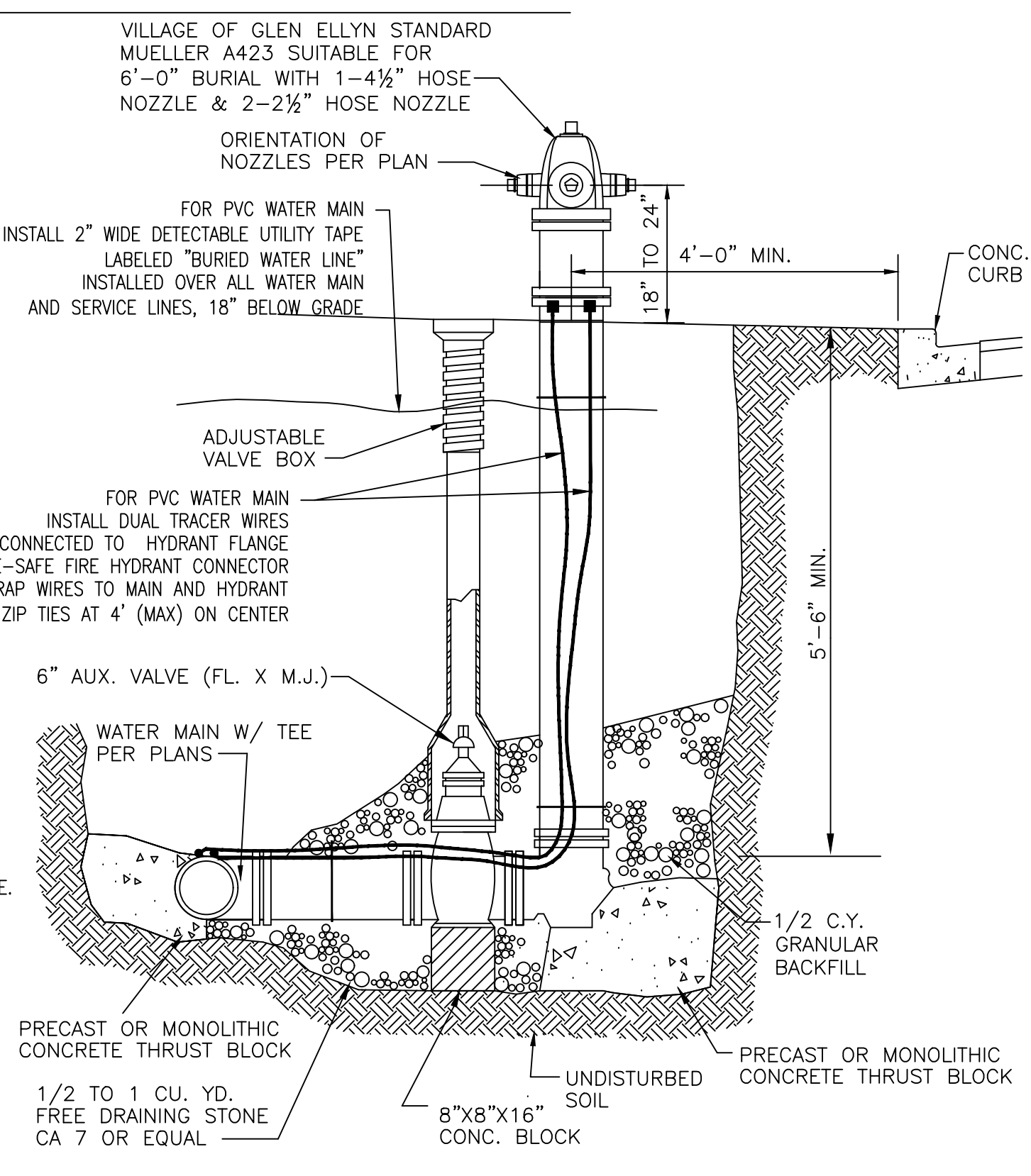
| STABILIZATION TYPE | JAN. | FEB. | MAR. | APR. | MAY | JUNE | JULY | AUG. | SEPT. | OCT. | NOV. | DEC. |
|--------------------|------|------|------|------|-----|------|------|------|-------|------|------|------|
| PERMANENT SEEDING | | | A | | | | | | | | | |
| DORMANT SEEDING | B | | | | | | | | | | | B |
| TEMPORARY SEEDING | | | C | | | | | | | | | |
| SODDING | | | EM | | | | | | | | | |

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
 B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
 C SPRING OATS 100 LBS/ACRE
 D WHEAT OR CEREAL RYE 150 LBS/ACRE.
 E SOD
 F STRAW MULCH 2 TONS/ACRE.
 * IRRIGATION NEEDED DURING JUNE AND JULY.
 ** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.

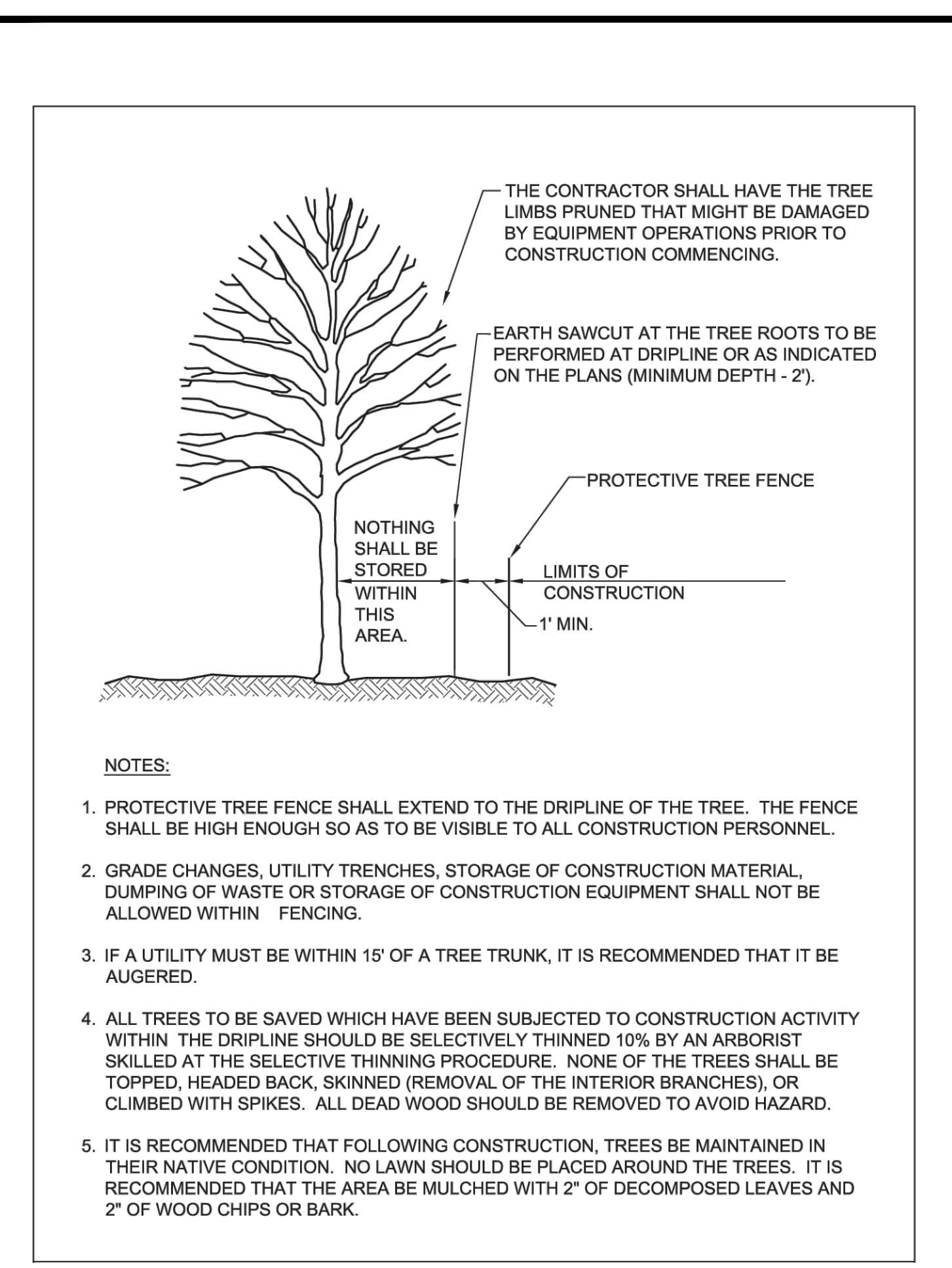
SOIL PROTECTION CHART AND APPLICATION GUIDELINES



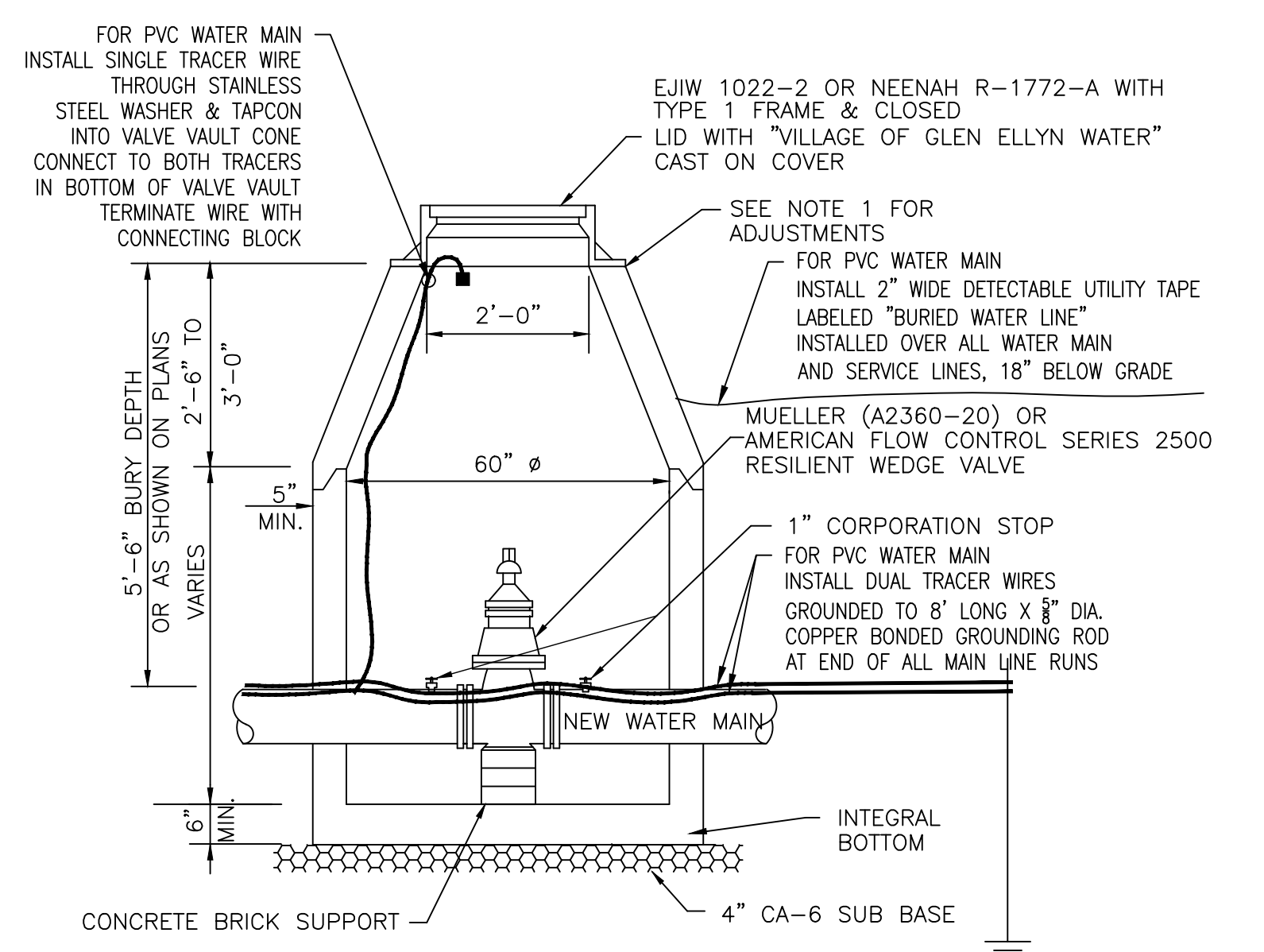
TRENCH SECTION IN UNPAVED AREAS
NOT TO SCALE



FIRE HYDRANT
NOT TO SCALE



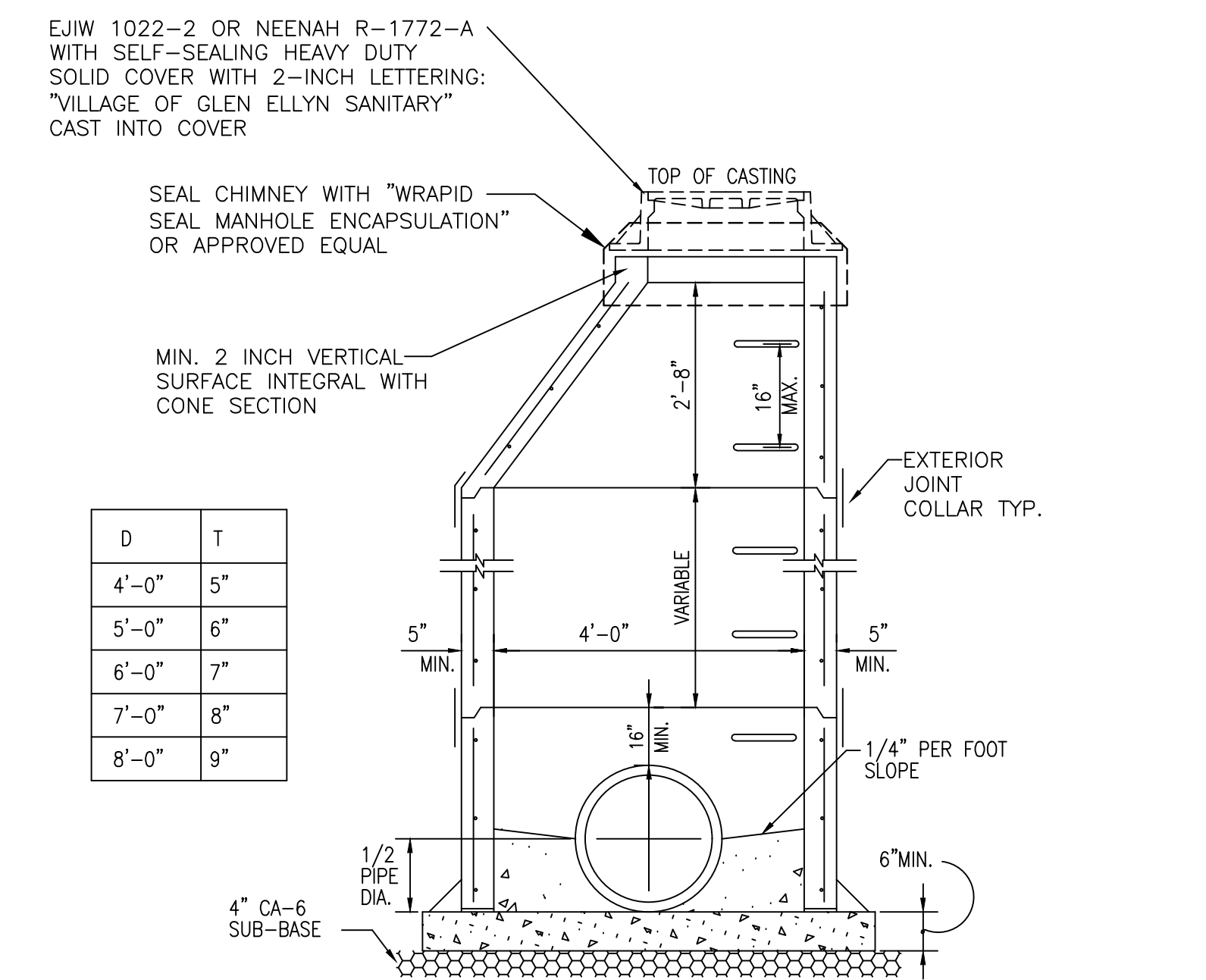
Tree Protection



- NOTES:
1. PRECAST-REINFORCED CONCRETE RISER RINGS AND CONES SHALL COMPLY WITH TEST STRENGTH - A.S.T.M. C-39. ADJUSTMENT RINGS SHALL NOT EXCEED 8" IN HEIGHT.
 2. WALL THICKNESS SHALL BE - 5" FOR 4" DIA. & 6" FOR 5" DIA. MANHOLE. MINIMUM CIRCULAR REINFORCEMENT SHALL BE 0.18 SQUARE INCH PER FOOT.
 3. PRECAST ADJUSTMENT RINGS WILL BE REQUIRED FOR ALL ADJUSTMENTS WITH MAX. ADJUSTMENT EQUAL TO 1 1/2".
 4. ALL VALVES SHALL BE ENCLOSED IN A VAULT UNLESS OTHERWISE SPECIFIED.
 5. VALVE WITH VAULT INCLUDING FRAME AND LID SHALL BE PAID FOR AS ITEM "VALVE AND VAULT" OF THE SIZE SPECIFIED IN THE PLANS AND SHALL INCLUDE CORPORATION STOP AS SHOWN.
 6. ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES ON ALL UNDERGROUND STRUCTURES, SHALL BE SET IN BUTYL RUBBER JOINT SEALANTS WITH A MINIMUM CROSS SECTIONAL AREA OF 1.25 SQ. IN. CONCRETE PRODUCTS SUPPLY CO. - EZ STIK STB. HAMILTON-KENT GASKET CO. - KENT SEAL, OR EQUAL, AS APPROVED BY THE VILLAGE ENGINEER, AND ALL JOINTS TO BE TUCKPOINTED W/ ANTI-HYDRAULIC CEMENT.
 6. OMIT TRACER WIRE AND DETECTABLE UTILITY TAPE FOR DUCTILE IRON WATER MAIN.

VALVE VAULT TYPE A
NOT TO SCALE

- NOTES:
1. PRECAST-REINFORCED CONCRETE RISER RINGS AND CONES SHALL COMPLY WITH TEST STRENGTH - A.S.T.M. C-39. ADJUSTMENT RINGS SHALL NOT EXCEED 8" IN HEIGHT.
 2. MINIMUM WALL THICKNESS SHALL BE 5" AND MINIMUM CIRCULAR REINFORCEMENT SHALL BE 0.18 SQUARE INCH PER FOOT.
 3. THE BOTTOM MAY BE EITHER PRECAST WITH INVERTS AS INTEGRAL PART OR CAST IN PLACE WITH CLASS "SI" CONCRETE.
 4. MANHOLE WALL THICKNESS "T" SHALL BE AS SHOWN IN THE LIST BELOW.
 5. ALL STEPS SHALL BE CAST IRON AND CONFORM WITH NEENAH STANDARDS R-1981-1 OR APPROVED EQUAL.
 6. ALL JOINTS BETWEEN PRE-CAST ELEMENTS, ADJUSTING RINGS AND MANHOLE FRAMES ON ALL UNDERGROUND STRUCTURES, SHALL BE SET IN PLACE WITH ONE OF THE FOLLOWING BUTYL RUBBER JOINT SEALANTS WITH A MINIMUM CROSS SECTIONAL AREA OF 1.25 SQ. IN.: CONCRETE PRODUCTS SUPPLY CO. - EZ STIK STB. HAMILTON - KENT GASKET CO. - KENT SEAL, OR EQUAL, AS APPROVED BY VILLAGE. ALL JOINTS SHALL BE TUCKPOINTED WITH HYDRAULIC CEMENT.
 7. ALL SANITARY SEWER MANHOLES SHALL BE CONSTRUCTED WITH FLEXIBLE MANHOLE COUPLINGS, AS MANUFACTURED BY ALOK PRODUCTS INC. (ALOK MANHOLE VILLAGE), PRESS-SEAL GASKET CORPORATION (PRESS WEDGE II) OR EQUAL, AS APPROVED BY VILLAGE ENGINEER. ALL MATERIALS SHALL COMPLY WITH AND INSTALLATION PROCEDURES SHALL FOLLOW THOSE SPECIFIED BY THE MANUFACTURER OR VILLAGE.
 8. AN EXTERIOR JOINT COLLAR SHALL BE INSTALLED AT ALL JOINTS BETWEEN SANITARY MANHOLE ELEMENTS. JOINT COLLARS WILL NOT BE REQUIRED FOR ADJUSTING RINGS. THE JOINT COLLAR SHALL BE MACWRAP EXTERIOR JOINT SEALER AS MANUFACTURED BY MAR-MAC MANUFACTURING COMPANY OR AN APPROVED EQUAL. THE COLLAR SHALL CONSIST OF A BAND NINE INCH (9) WIDE. MASTIC COLLARS REQUIRING THE USE OF A PRIMER WILL NOT BE ACCEPTED.
 9. COST FOR CHIMNEY SEAL SHALL BE INCIDENTAL TO THE CONTRACT PRICE OF SANITARY MANHOLE.



SANITARY SEWER MANHOLE, TYPE A
NOT TO SCALE
TYPE "C" MANHOLE IS WITHOUT CONE SECTION AND HAVING PRECAST FLAT TOP

BOOK: DIV. SIZE: D
 DRAWN: C.W.
 CHECKED: J.A.L.
 REFERENCE:
 DATE: 10-14-2025
 PROJECT NO.: 2025-0189

REVISION: DATE: DESC: REASON FOR CHANGE
 1 10/26/25 REVISION PER VILLAGE REVIEW COMMENTS DATED 11-13-25
 2 10/26/25 NO CHANGES MADE TO THIS SHEET

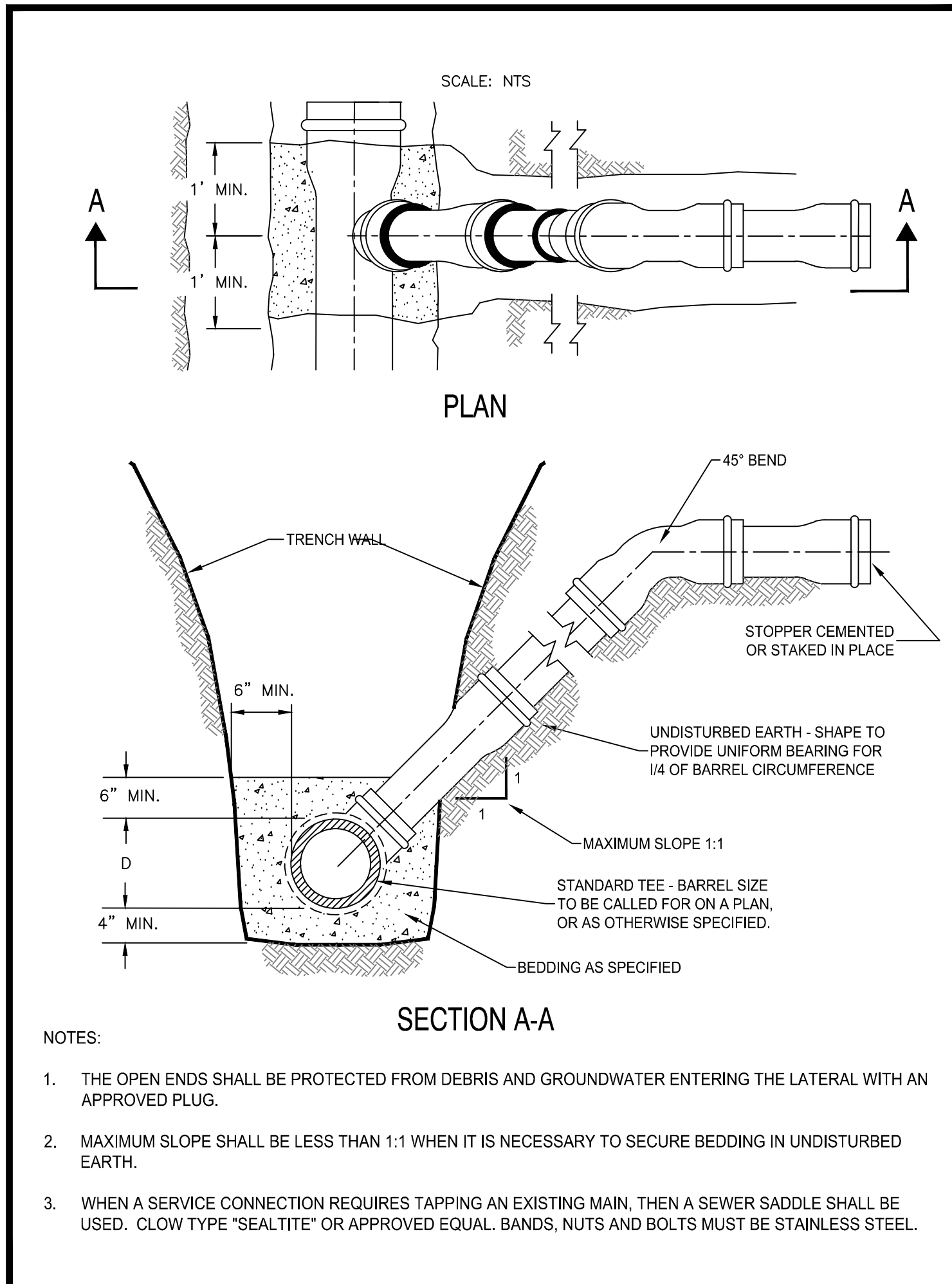
Ridgeline Consultants LLC
 1101 Marshall Road, Mokena, IL 60458
 PH: 630.801.7827 FAX: 630.701.1385
 Jennifer Harp P.L.S. 4071 Expired Date 11/30/2026
 Stacy L. Shewell P.L.S. 4071 Expired Date 11/30/2026

LA GAMBINA HOMES
 22W684 AHLSTRAND ROAD
 GLEN ELLYN, ILLINOIS

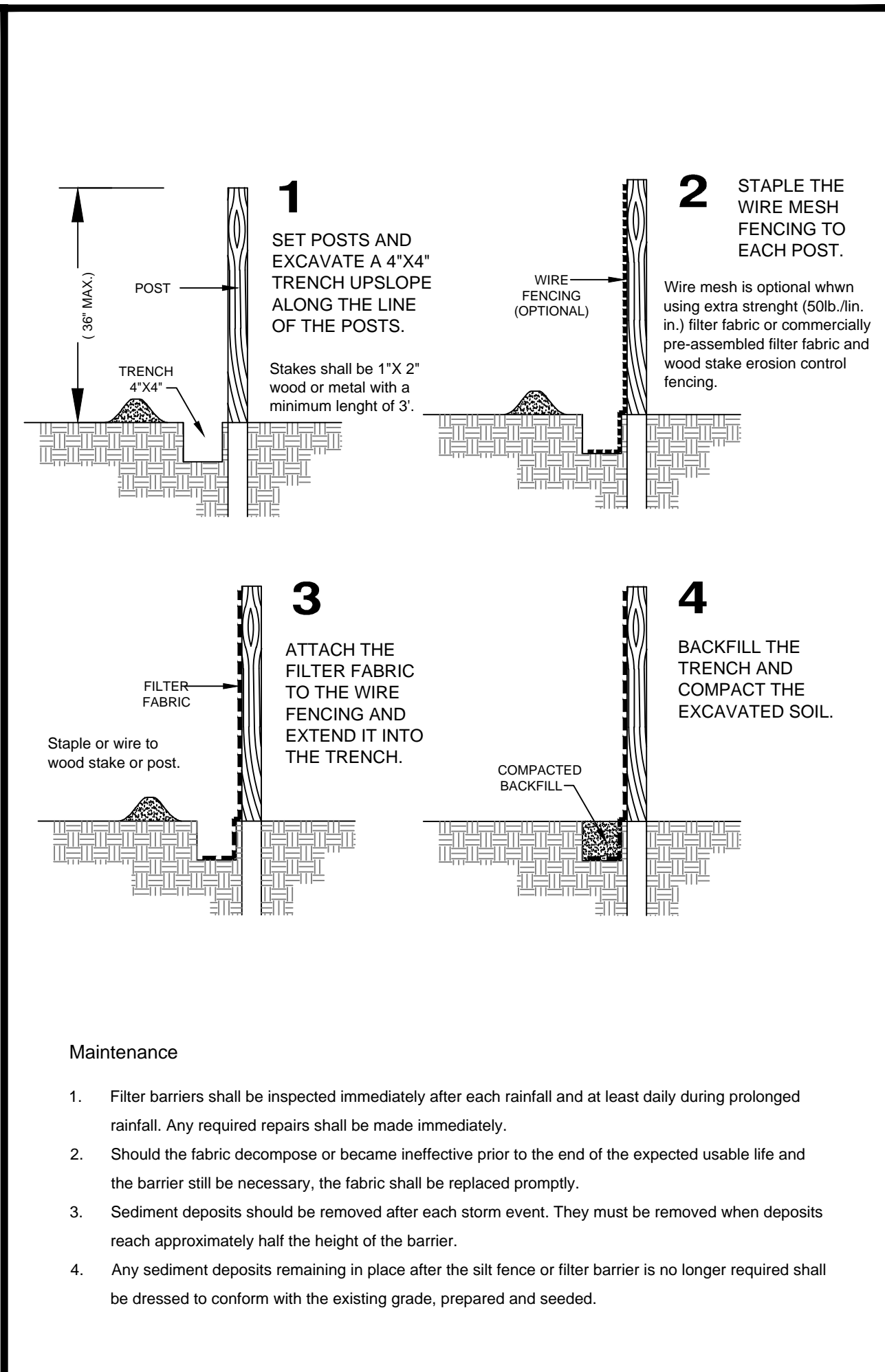
SHEET 7 OF 8

Prepared for: LA GAMBINA HOMES
 Property Address: 22W684 AHLSTRAND ROAD
 GLEN ELLYN, ILLINOIS

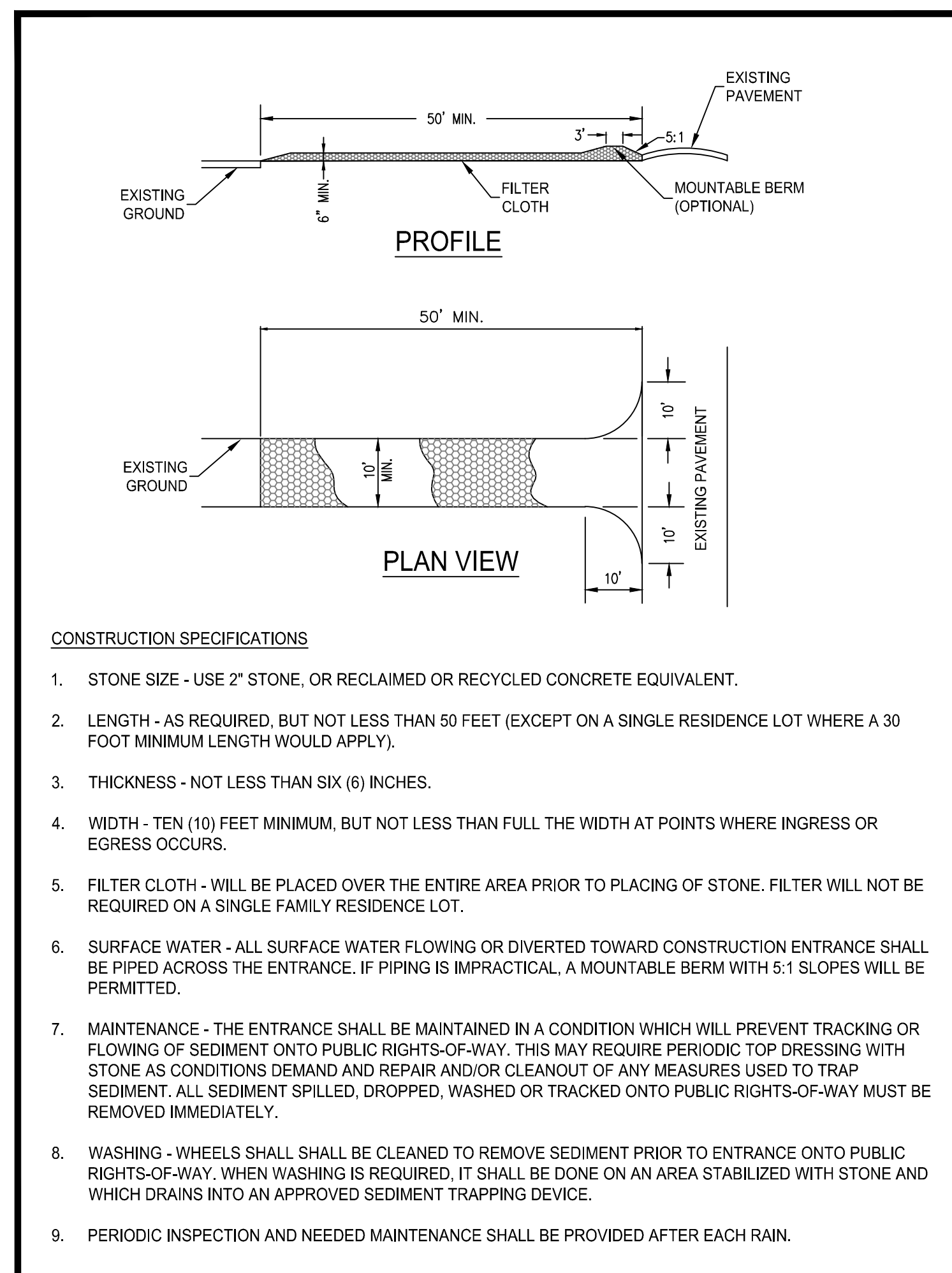
Construction Details & Notes



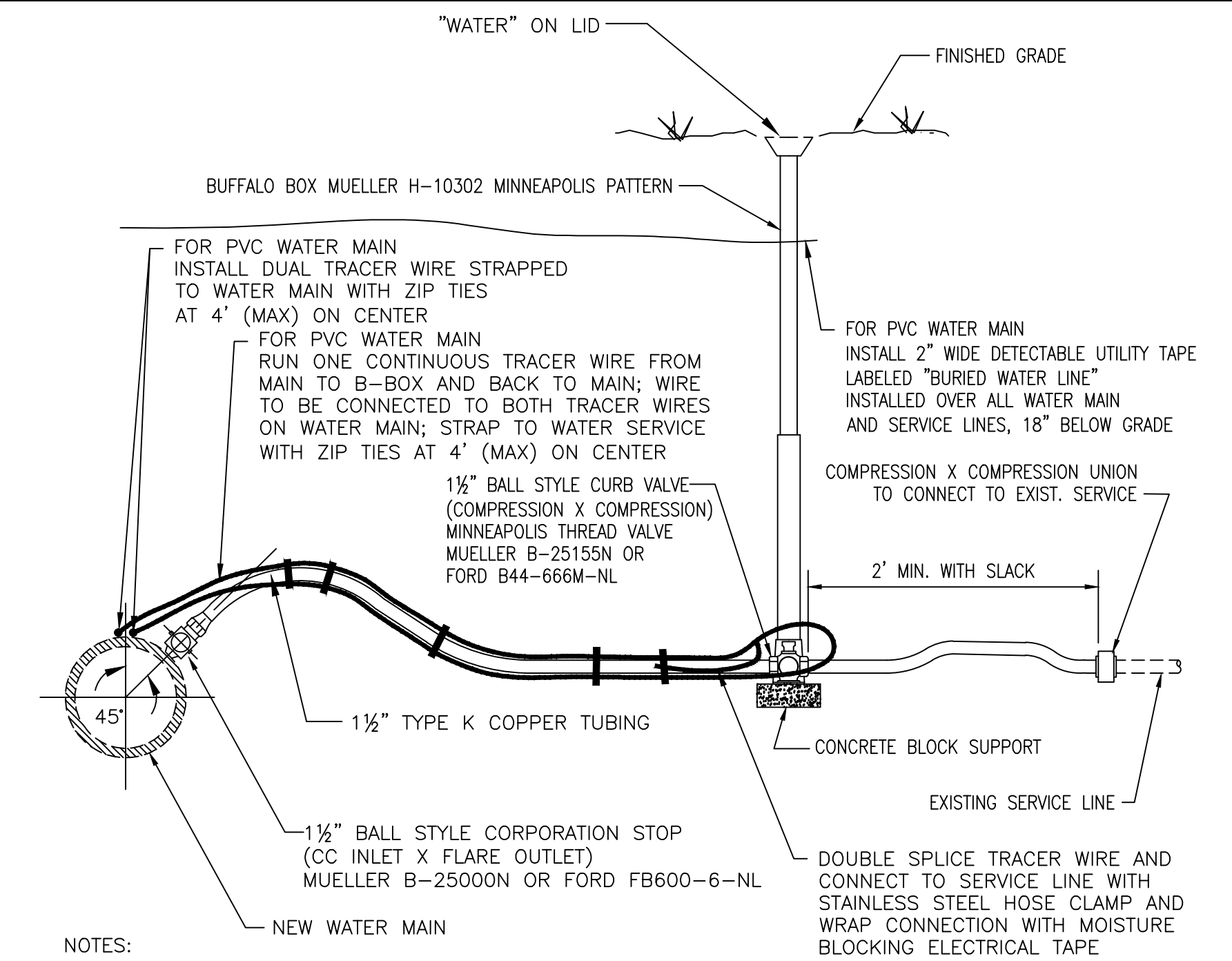
Riser for Service Lateral



Silt Fence



Stabilized Construction Entrance

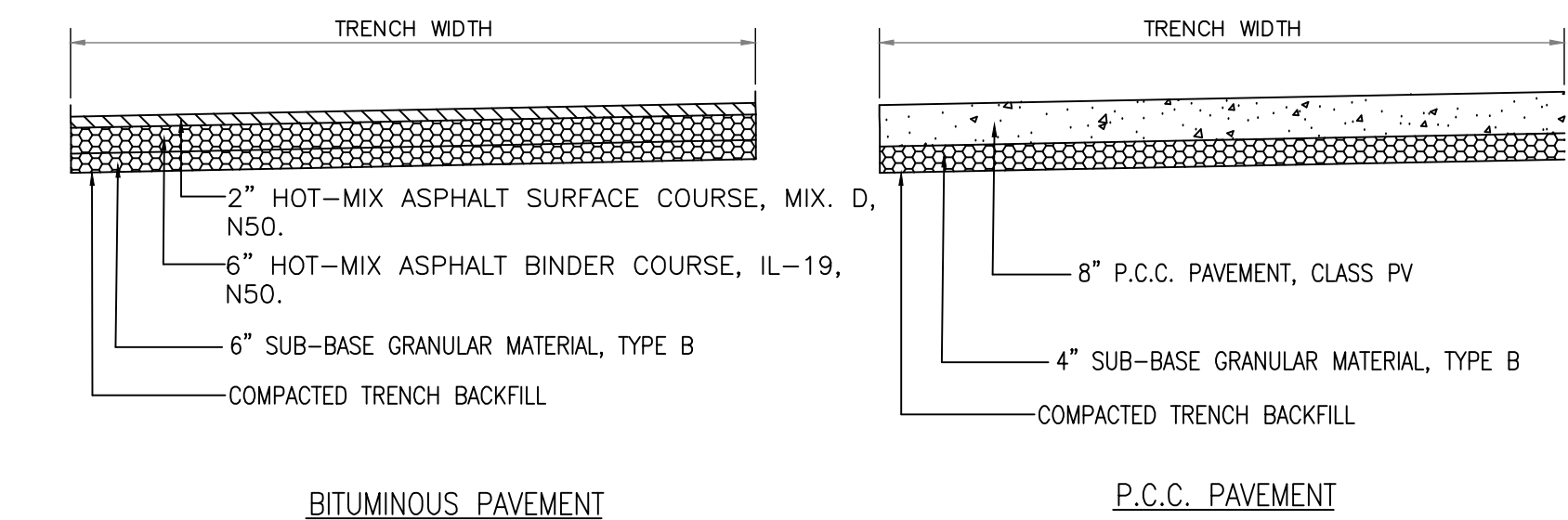


WATER SERVICE CONNECTION

NOT TO SCALE

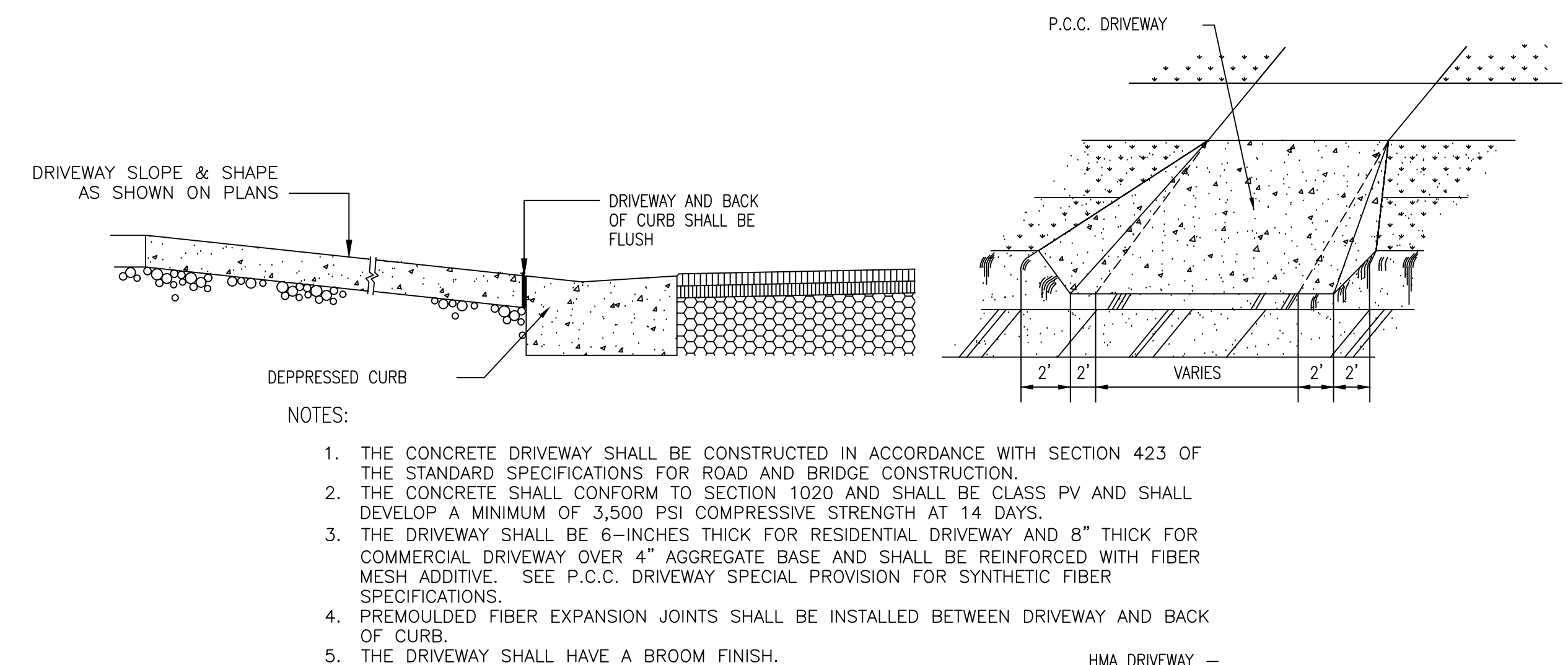
MIX REQUIREMENT TABLE

| ITEM | AC TYPE | VOIDS |
|---------------------|----------|------------------|
| HMA SURFACE - MIX D | PG 64-22 | 4% @ 50 Gyration |
| HMA BINDER - IL-19 | PG 58-22 | 4% @ 50 Gyration |



TYPICAL PAVEMENT RESTORATION

NOT TO SCALE



CONCRETE DRIVEWAY DETAIL
NOT TO SCALE

GRANITE environmental

Coir Logs

Rolanka

Coir logs are a strong, natural, & flexible product that have been used for stabilization and re-vegetation in locations with steep slopes or in areas that have a high exposure to waves or currents. Built from all natural coconut coir fiber & wrapped in coir mesh netting, these coir logs are excellent way to reinforce, stabilize or control erosion.

Perfect for use in:

- Check Dams
- Stream Stabilization
- Stabilization Along Shores
- Vegetative Re-growth
- River Bank Support
- Marsh Restoration
- Beach Restoration
- Slope Stabilization

Typical Coir Log Specifications
(other sizes, materials, etc. available)

| Type | Diameter | Density | Length | Material Used | Eye Size |
|-----------|-----------------|------------------------------|------------|---------------------------|---------------|
| Rolanka™ | 12", 16" or 20" | 7 lbs/cu ft. or 9 lbs/cu ft. | 10 ft | Coir twine & coir fiber | - |
| Hayley's™ | 30 cm | - | 3 m or 4 m | Coir twine & Polyethylene | 25 mm x 50 mm |

GRANITE environmental Product Solutions for a Cleaner World

P.O. Box 780528 Sebastian, FL 32978 Toll Free: (1) 888.703.5689 Fax: (+1) 772.589.3343 Int: (+1) 772.646.0597 Info@GraniteEnvironmental.com www.GraniteEnvironmental.com

S4.05 Flared End Section Specification

Scope
This specification describes 12- through 36-inch (300 to 900mm) Flared End Sections for use in culvert and drainage outlet applications.

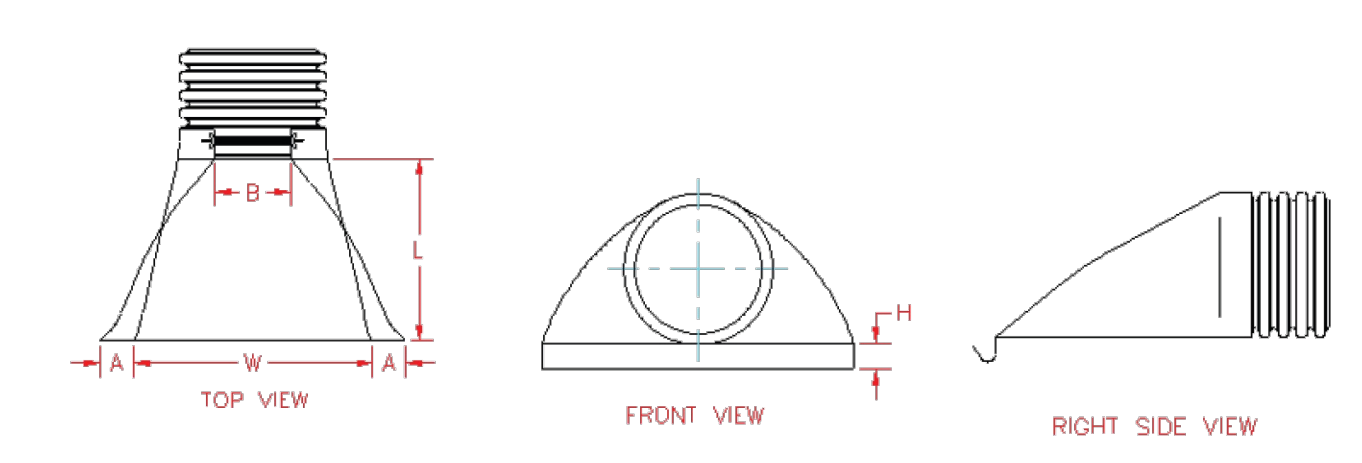
Requirements
The Flared End Section shall be high density polyethylene meeting ASTM D3350 minimum cell classification 213320C; contact manufacturer for additional cell classification information. When provided, the metal threaded fastening rod shall be stainless steel.

Installation
Installation shall be in accordance with ADS installation instructions and with those issued by state or local authorities. Contact your local ADS representative or visit www.adspipe.com for the latest installation instructions.

Build America, Buy America (BABA)
The ADS Flared End Section complies with the requirements in the Build America, Buy America (BABA) Act.

| Diameter in (mm) | Pipe Diameter, in (mm) | | | |
|------------------|------------------------|------------|------------|-------------|
| | 12 (300) | 15 (375) | 18 (450) | 24 (600) |
| A in (mm) | 6.5 (165) | 6.5 (165) | 7.5 (191) | 7.5 (191) |
| B (max) in (mm) | 10.0 (254) | 10.0 (254) | 15.0 (381) | 18.0 (475) |
| H in (mm) | 6.5 (165) | 6.5 (165) | 6.5 (165) | 6.5 (165) |
| L in (mm) | 25.0 (635) | 25.0 (635) | 32.0 (813) | 36.0 (914) |
| W in (mm) | 29.0 (737) | 29.0 (737) | 35.0 (889) | 45.0 (1143) |

* Product detail may differ slightly from actual product appearance.



BOOK: DIV. SIZE D
DRAWN: C.W.
CHECKED: J.E.L.
REFERENCE:
DATE: 10-14-2025
PROJECT NO.: 2025-0189

REVISION: DATE: DESC: 1 10/28/25 REVISION PER VILLAGE REVIEW COMMENTS DATED 11-13-25 NO CHANGES MADE TO THIS SHEET 2 10/28/25

Ridgeline Consultants LLC
1101 Marshall Road, Morrisville, NC 27560
PH: 603.801.9227 FAX: 603.801.1383
Janelle Har P.L.S. 4071 Expiration Date: 11/30/2026
Shirley L. Shewell P.L.S. 4079 Expiration Date: 11/30/2026

Ridgeline CONSULTANTS
CONSULTING ENGINEERS - LAND SURVEYORS

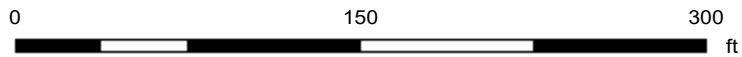
PREPARED FOR: **LA GAMBINA HOMES**
PROPERTY ADDRESS: 22W684 AHLSTRAND ROAD
GLEN ELLYN, ILLINOIS

SHEET 8 OF 8



Legend

Legend area containing a blank space for defining map symbols.



Print Date: 2/13/2026

Notes

Notes area containing a blank space for additional information.

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



**Glen Ellyn Plan
Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 2/26/2026 7:00 PM
Department: Community Development
Department Head: Jennifer Henaghan
Category: Public Hearing
Prepared By: Daniel Harper

**AGENDA ITEM (ID
2026-142)**

DOC ID: 2026-142

Public Hearing — 484 Glenwood Avenue, Glenwood Station Planned Unit Development Amendment.

Statement of the Issue:

The petitioner, Holladay Properties, LLC has submitted a petition to consider an amendment to the Final Planned Unit Development to allow the construction of six (6) private outdoor decks and one (1) private outdoor patio to be located north of the building to be accessed by ground floor residential units located at Glenwood Station.

Analysis:

REQUEST:

The petitioner requests an amendment to the Final Planned Unit Development to allow the construction of six (6) private outdoor decks and one (1) private outdoor patio to be located north of the building to be accessed by ground floor residential units located at Glenwood Station. The Plan Commission will consider the petitioner's requests for approval an amendment to Ordinance No. 6970 for a Second Amendment to the Glenwood Station Planned Unit Development with the following deviations, in accordance with Section 10-10-15 of the Glen Ellyn Zoning Code:

1. A deviation from Section 10-5-5(B)(4)(8) to allow one (1) or more decks to be located within the required side yard; and
2. A deviation from Section 10-5-5(B)(4)(39) to allow one (1) or more terraces (patios) to be located within the required side yard.

BACKGROUND:

The subject property comprises approximately 0.64 acres and is located on the north side of Crescent Boulevard between Prospect Avenue and Glenwood Avenue. The property is zoned C5B Central Service Subdistrict.

The property is subject to a Final Planned Unit Development per Ordinance No. 6834 that was approved by the Village Board in 2020. The approved PUD allowed for the development of a five-story mixed-use multi-family building. The PUD was amended in 2022 per Ordinance No. 6970 to allow for a parking space variation from 104 spaces to 102 spaces and amended the north elevation of the building to relocate the north façade for floors 2–5 approximately 9 feet north to be inline with the north wall of the first-floor podium of the building and remove the north façade projecting

balconies and be replaced with Juliet balconies.

ZONING: The subject site is currently zoned C5B Central Service Sub-District. The surrounding zoning and land use are as follows:

| Land Use | Zoning |
|--|-------------------------------------|
| North: Restaurants | C5B Central Service-Subdistrict |
| South: Public Parking Lot | C5B Central Service-Subdistrict |
| West: Auto Repair Shop | C5B Central Service-Subdistrict |
| East: Medical Office and Retail | C5A Central Retail Core-Subdistrict |

PUBLIC NOTICE: Notice of the public hearing was published in the February 10, 2026, edition of the Daily Herald. Property owners within 250 feet of the property were notified by mail of the public hearing and a placard was placed on the property.

PROJECT SUMMARY:

The petitioner requests an amendment to the Final Planned Unit Development to allow the construction of six (6) private outdoor decks and one (1) private outdoor patio to be located north of the building to be accessed by ground floor residential units located at Glenwood Station.

The proposed outdoor decks and patio would be located in the landscaped area north of the building and are proposed to provide an additional amenity to the adjacent ground floor units. Each deck will be 24 feet (24'-0") wide by six feet (6'-0") deep. The proposed patio is thirty-four feet and two inches (34'-2") wide by six feet (6'-0") deep and will be covered by artificial turf with a flow-through drainage system. The patio area will be screened by a six-foot (6'-0") tall black mesh screen fence on the eastern side.

Section 10-5-5(B)(4)(8) and Section 10-5-5(B)(4)(39) of the village code do not allow decks or patios to project in the required side yard. The required side yard area is currently a landscaped area that contains an eight-inch (0'-8") storm sewer located approximately seven feet (7'-0") from the building. The plantings in the landscaped area are proposed to remain the same as the existing PUD except for the ground cover that will be removed for the deck and patio locations. The proposed decks and patio have been reviewed by Village development engineering staff and have determined that the additional structures will not have a detrimental impact on the existing stormwater infrastructure.

Budget Impact:

Contribution to Strategic Plan

Action Requested:

The Plan Commission should consider the petitioners' requests for approval of an amendment to the Planned Unit Development Plans for the Glenwood Station mixed-use building and make a recommendation to the Village Board for approval, approval with conditions, or denial. In deliberating this recommendation, the Plan Commission should consider the criteria in Sections 10-

7-7 and 10-10-14(E) of the Zoning Code.

Attachments:

1. Application - PUD
2. Aerial Map
3. Zoning Map
4. Proposed Glenwood Station Deck & Terrace Additions
5. Ord 6834 PUD
6. Ord 6970 PUD Amendment 1



VILLAGE OF GLEN ELLYN

Planned Unit Development Application Packet

*Community Development Department
535 Duane Street – Glen Ellyn, IL 60137 – Telephone 630.547.5250 – Fax 630.547.537*

APPLICATION FOR PLANNED UNIT DEVELOPMENT

Date Filed: 1/26/2026

Application No: 2026-0006

Name of Applicant: Holladay Properties

Address of Applicant: 1 Walker Ave Suite 300 Clarendon Hills, IL 60514

Property Interest of Applicant: Owner Representative

Name of Owner: HP Glenwood Station LLC

Address of Owner: 3454 Douglas Rd unit 250 South Bend, IN 46635

Contacts:

| Type | Name | Address |
|-------------------|----------------------------|---|
| Petitioner | Holladay Properties | 1 Walker Ave Suite 300 Clarendon Hills, IL 60514 |
| Web Administrator | Holladay Properties | 1 Walker Ave Suite 300 Clarendon Hills, IL 60514 |
| Parcel Owner | HP Glenwood Station LLC | 3454 Douglas Rd unit 250 South Bend, IN 46635 |

Property Address: 464 Glenwood Ave

Project Name: Web Project

Project Description: Removal of existing Juliet balconies from seven units on the north side of an existing multifamily building. Juliet balconies to be replaced with new walk-out balconies. New balconies to be wood-framed, with composite decking material. New railings and privacy screening match those on the existing building.

Type of PUD Application: Amendment

Legal Description of Property:

THE SOUTH 110 FEET OF ALL THAT PART OF BLOCK 5, IN THE TOWN OF DANBY (ALSO BLOCK 5 IN THE PLAT OF COUNTY CLERK'S SECOND ASSESSMENT DIVISION), ALL IN THE SOUTHWEST 1/4 SECTION 11, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE WEST LINE OF LOT 3 IN MORRELL'S PLAT OF LOTS 2 AND 3, BEING PART OF SAID BLOCK 5

ACCORDING TO THE PLAT OF SAID MORRELL'S LOTS RECORDED JANUARY 10, 1962 AS DOCUMENT R62-994, IN DUPAGE COUNTY, ILLINOIS.

Zoning: C5B, Central Business District (Service)
Lot Dimensions:
Lot Area: 35060
Property Size/Area: Approx. 27877 Sq. Ft.
Lot Frontage: 403.00
: 05113140080000

Present Use: 5-Story, mixed-use, luxury multifamily & retail building with 86 residential units and 1,442 sq. ft. of retail space.

Requested Use/Construction: Modification to seven of the units on the second floor, to enhance resident experience by removing Juliet balconies and constructing decks.

Current Zoning Classification of Property:PUD

Estimated Date to Begin New Use/Construction: 4/6/2026

Narrative Statement:

The proposed modification, which replaces select Juliet balconies with walk-out decks, will not result in adverse economic impacts to adjoining or nearby properties and will not create additional noise, glare, odor, fumes, or vibration beyond what is typical for a permitted residential use. The proposal is consistent with the Village's Comprehensive Plan by enhancing residential livability while preserving neighborhood compatibility.

Describe How the Special Use:

1. Will be harmonious with and in accordance with the general objectives, or within a specific objective of the Comprehensive Plan and/or this Zoning Code:

Replacing select Juliet balconies with walk-out decks improves the quality of outdoor living space for residents without increasing building height, massing, intensity, or impacts to surrounding properties. The modification preserves compatibility with the

surrounding neighborhood, supports high-quality multifamily housing, and remains consistent with the intent of the original approvals and the Village's broader planning objectives.

2. Will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area:
The new deck railings will match the existing railings on nearby areas of the existing building. Similarly, the three new privacy fences will match those on the south side of the building. The private decks will be maintained as part of the residential use already approved. As a result, the proposal will not change the overall character of the area and will remain compatible with the existing property and adjacent vicinity.

3. Will not be hazardous or disturbing to existing or future neighborhood uses:

The area of work is limited to the northwest corner of the building. Special consideration will be given to existing residents during construction and coordinated closely with the Property Management team on-site.

4. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water, sewers and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services:

The modification does not increase the number of dwelling units, occupancy, or demand on public infrastructure, and no changes to existing service capacity or access are required.

5. Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the Village:

The proposed Special Use modification will not create additional requirements or costs for public facilities or services, as it does not increase the number of dwelling units, occupancy, or intensity of use. All public infrastructure and services will continue to function as previously approved, and the modification will not be detrimental to the economic welfare of the Village.

6. Will not involve uses, activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors:

The proposed Special Use modification will not introduce any uses, activities, materials, equipment, or operating conditions that would be detrimental to persons, property, or the general welfare. The modification does not increase traffic, noise, smoke, fumes, glare, or odors beyond what is typical for an approved residential use, and no new impacts to surrounding properties are anticipated.

7. Will have vehicular approaches to the property, which shall be so designed as not to create an undue interference with traffic on surrounding public streets or roads:

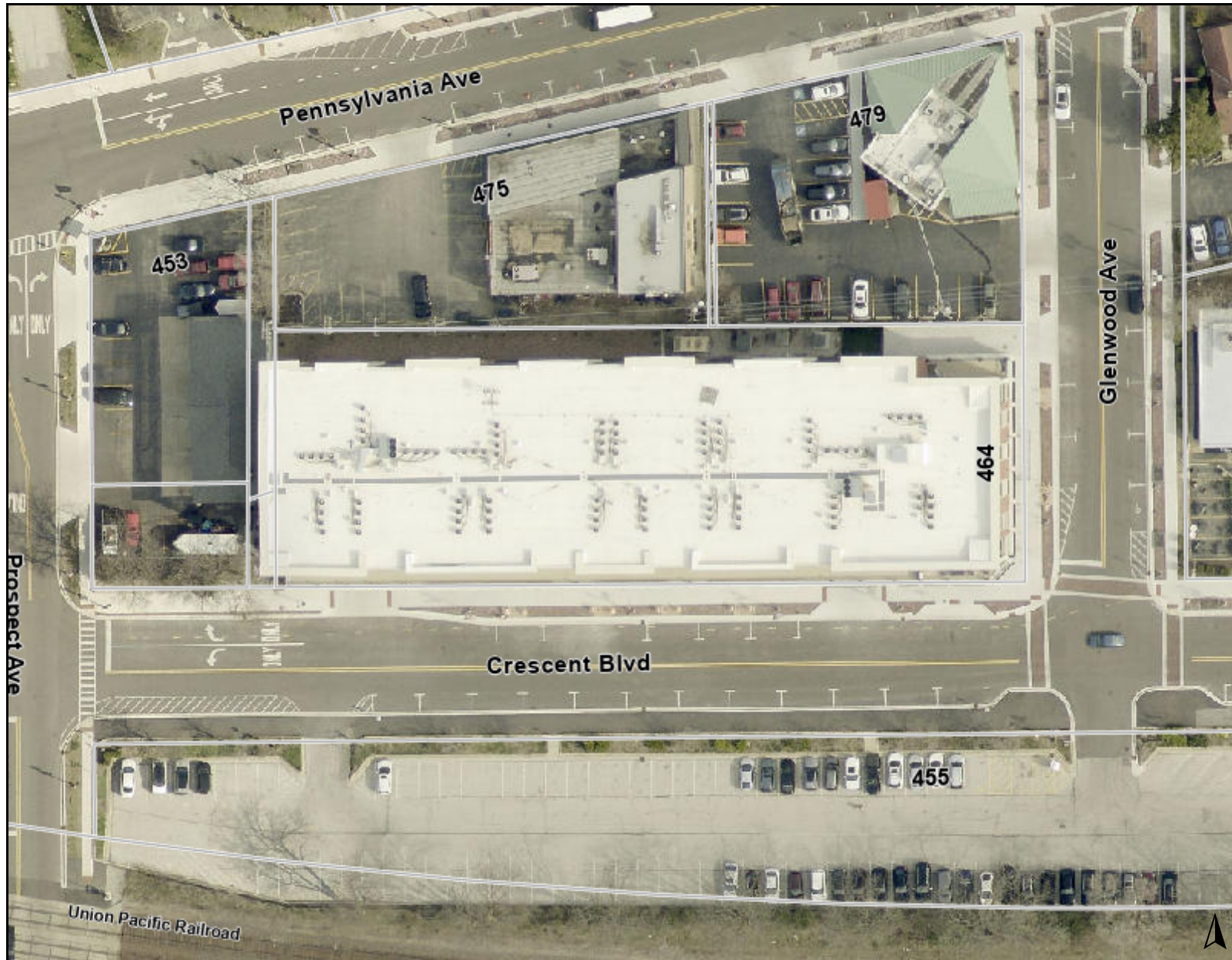
No new vehicular approaches are required to the property, so project will not create an undue interference with traffic on surrounding public streets or roads.

8. Will not increase the potential for flood damage to adjacent property or require additional public expense for flood protection, rescue or relief:

The walk-out decks do not alter approved drainage patterns, stormwater management systems, or site grading, and all existing flood protection measures will remain unchanged.

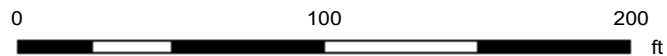
9. Will not result in destruction, loss or damage of natural, scenic or historic features of major importance to the community:

The modification is limited to minor architectural changes to an already approved building and does not affect protected resources, landmark structures, or environmentally sensitive areas.



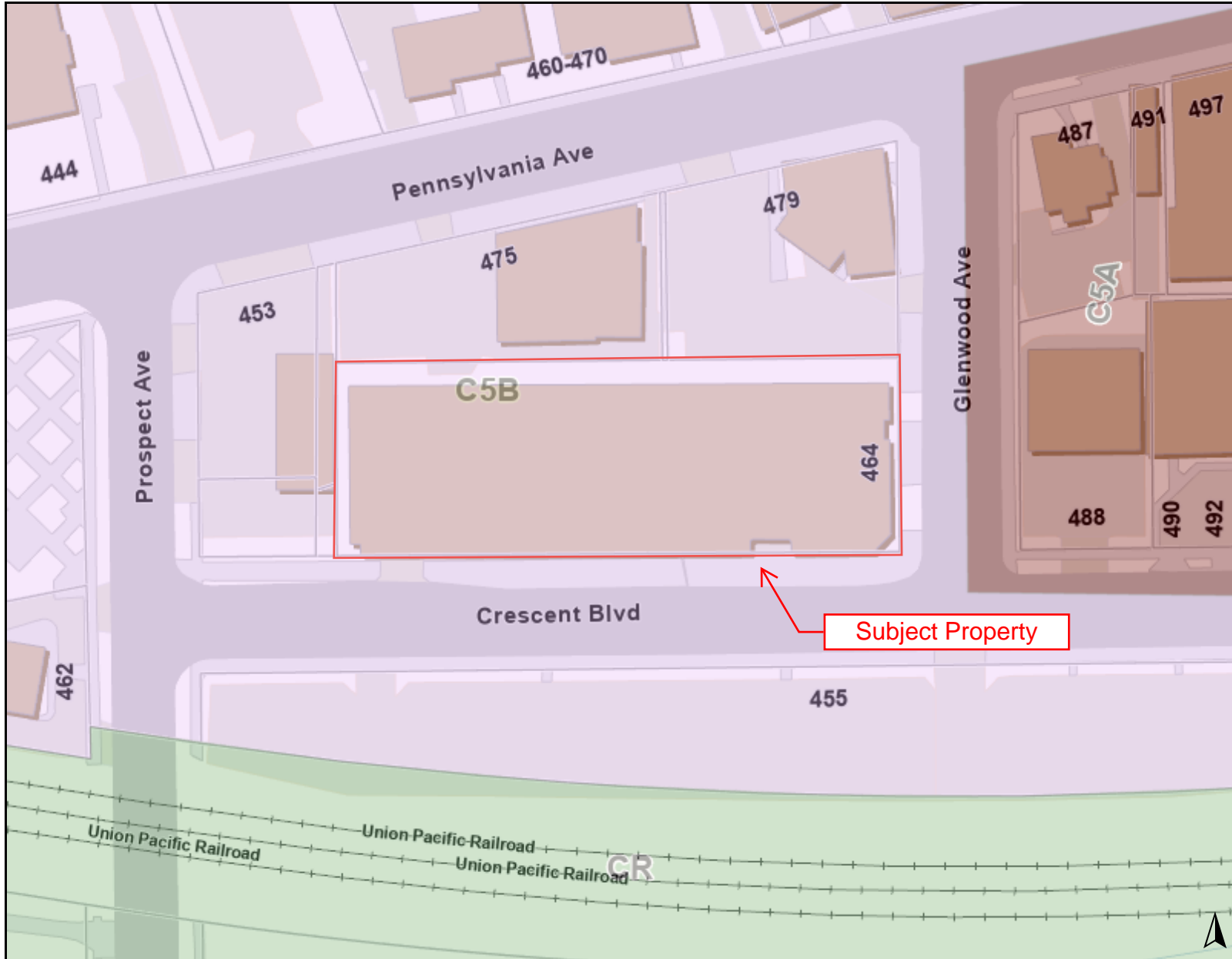
Legend

Notes



Print Date: 2/12/2026

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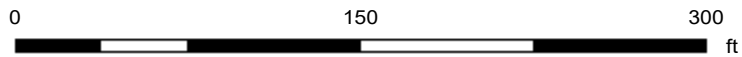


Legend

Zoning and Development

Zoning

- C5A: Central Business District (Retail Core)
- C5B: Central Business District (Service)
- CR: Conservation/Recreation District



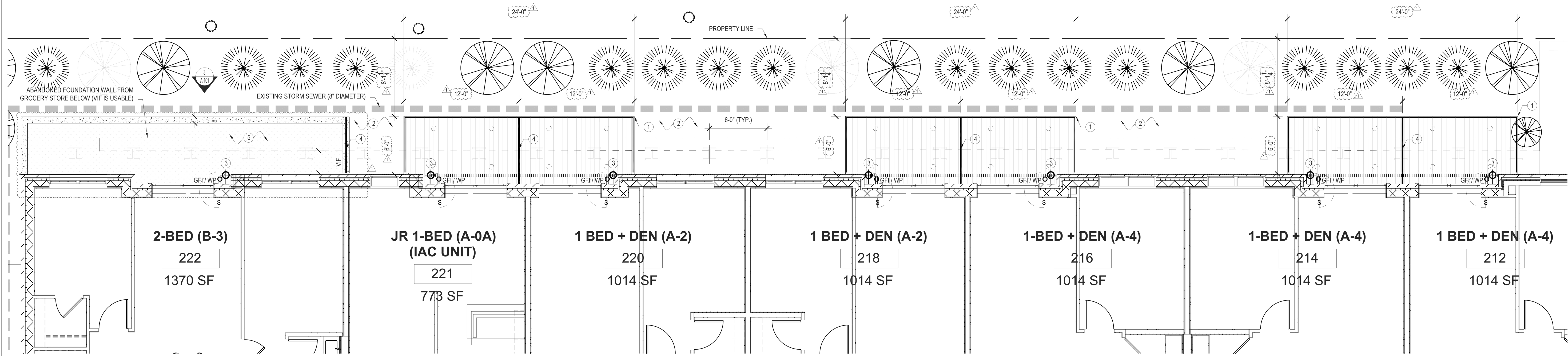
Print Date: 2/12/2026

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PROJECT NAME

**GLENWOOD STATION
TERRACE & DECK ADDITIONS**
464 GLENWOOD AVENUE
GLEN ELLYN, IL 60137



2 L2 NORTH: PROPOSED DECK ADDITIONS
A-100 SCALE: 3/16" = 1'-0" 

KEYED NOTES

- TREX DECKING ASSEMBLY (OR EQUAL)**
 - TREX DECKING, ENHANCE (5.5" W), 1" GROOVED EDGE BOARD
 - SPACED 1/4" APART, COLOR SELECTED BY OWNER
 - INSTALLED WITH HIDDEN FASTENERS WITH 2X8 JOISTS BELOW AT 16" OC MAX SPACING, POSTS WHERE REQUIRED
 - POUR (2) 6" DIAMETER SONOTUBES @ 42" BELOW GRADE
 - VERIFY EXACT LOCATION OF EXISTING FOUNDATION WALL
 - *ADVISE IF FOUNDATION WALL CAN BE USED ILO (2) NORTHERN MOST SONOTUBES ON EACH BALCONY*
 - 42" H ALUMINUM RAILING, TO MATCH DESIGN AT RECESSED BALCONIES AT NE CORNER

NOTE: DECKING SUPPORT POST LOCATIONS ARE APPROXIMATE

- GROUNDCOVER**
 - EXISTING GROUNDCOVER TO REMAIN
 - ANY GROUNDCOVER DISTURBED BY CONSTRUCTION OF DECKS TO BE REPLACED
- NEW LED EXTERIOR SCENCE**
 - WALDEN OUTDOOR WALL SCENCE (MODEL NO. 49550BKTLED) AS MANUFACTURED BY KICHLER
 - COLOR TEMPERATURE = 3000K
 - FINISH = BLACK
 - DELIVERED LUMENS = 200

4 PRIVACY SCREEN

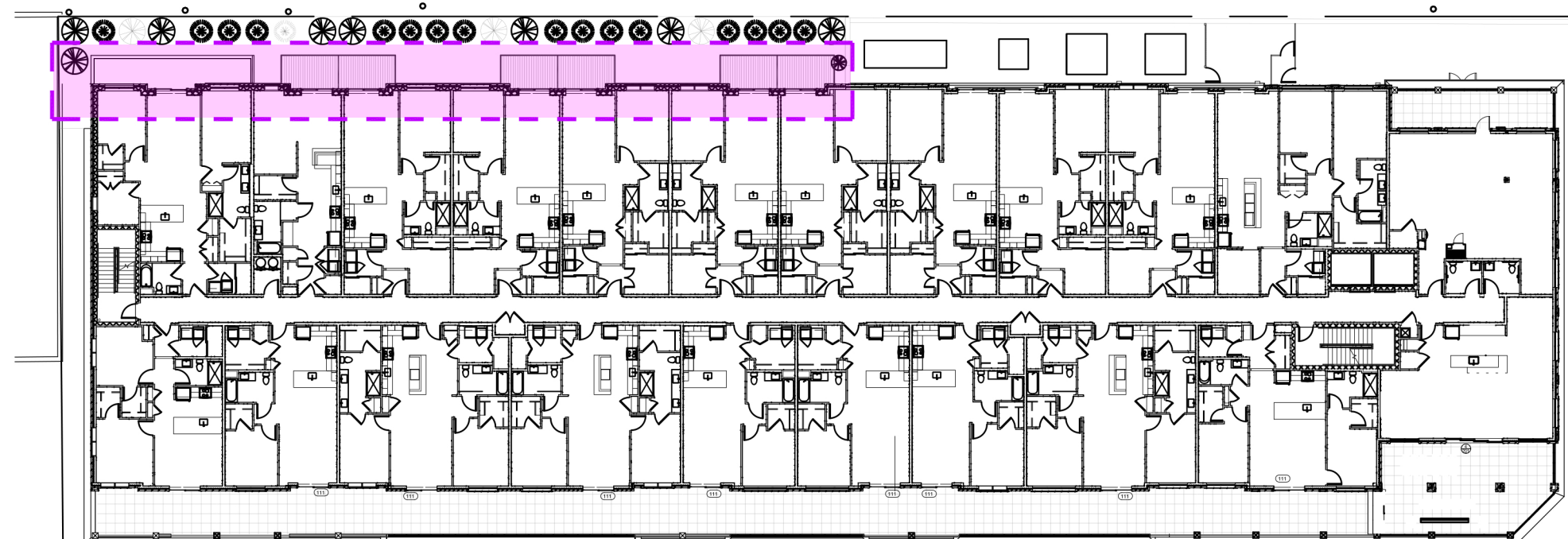
- MNICHOLS (NO. 17111832SA) MESH
- FINISH = BLACK
- 6' TALL

5 ARTIFICIAL TURF

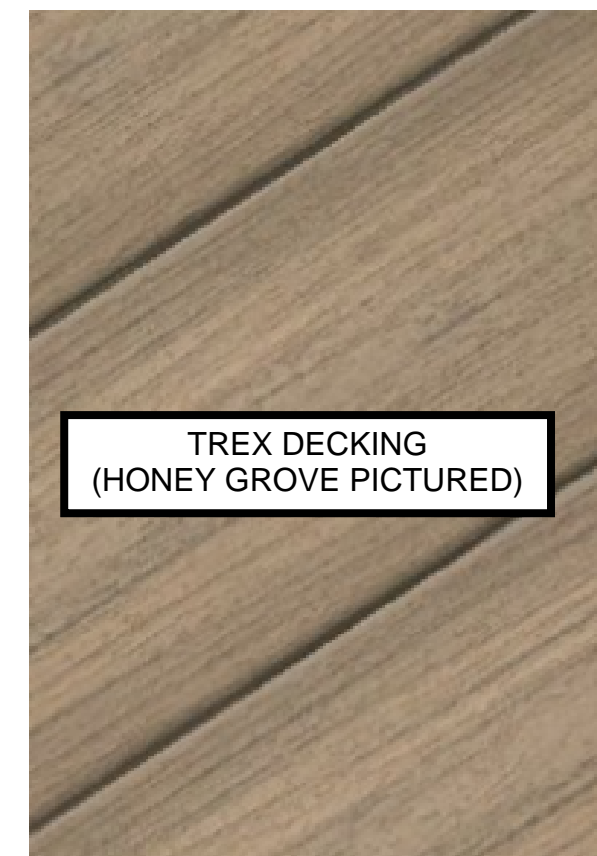
- 383SG K9 SERENITY TURF WITH FLOW-THROUGH DRAINAGE SYSTEM, AS MANUFACTURED BY SHAWGRASS
- COLOR = 321 OLIVE / GREEN-JUTE

GENERAL NOTES

- EXISTING LANDSCAPING TO REMAIN. ANY PLANTINGS DISTURBED BY CONSTRUCTION OF NEW DECKS TO BE REPLACED.



1 L2 NORTH: PROPOSED DECK ADDITIONS
A-100 SCALE: 3/16" = 1'-0" 



3 L2 NORTH: RENDERED PROPOSED DECK ADDITIONS
A-100 SCALE: 3/16" = 1'-0" 

REVISIONS

02.04.26  Revision 1

DATE

12.19.2025

DRAWN BY

LK

SHEET TITLE

L2 PROPOSED DECK
ADDITIONS

SHEET NO.

A-100



HOLLADAY PROPERTIES

www.holladayproperties.com

1 WALKER AVE, SUITE 300
CLARENDON HILLS, IL 60514

PROJECT NAME

**GLENWOOD STATION
TERRACE & DECK ADDITIONS**

464 GLENWOOD AVENUE
GLEN ELLYN, IL 60137

REVISIONS

02.04.26 Revision 1

DATE

12.19.2025

DRAWN BY

LK

SHEET TITLE

L2 ELEVATIONS
DEMO & NEW

SHEET NO.

A-101



2 L2 NORTH ELEVATION: DEMO
A-100 SCALE: 3/16" = 1'-0"

DEMOLITION PLAN KEY NOTES

- 1. REMOVE EXISTING JULIET BALCONY & ASSOCIATED MATERIALS WHERE INDICATED WITH DASHED LINES. REPAIR MASONRY FACADE AS REQUIRED.



3 L2 NORTH ELEVATION: NEW
A-101 SCALE: 3/16" = 1'-0"

KEYED NOTES

- 1 TREX DECKING ASSEMBLY (OR EQUAL)**
 - TREX DECKING, ENHANCE (5.5" W), 1" GROOVED EDGE BOARD
 - SPACED 1/4" APART, COLOR SELECTED BY OWNER
 - INSTALLED WITH HIDDEN FASTENERS WITH 2X8 JOISTS BELOW AT 16" OC MAX SPACING, POSTS WHERE REQUIRED
 - POUR (2) 6" DIAMETER, SONOTUBES @ 42" BELOW GRADE
 - VERIFY EXACT LOCATION OF EXISTING FOUNDATION WALL
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 - 42" H ALUMINUM RAILING, TO MATCH DESIGN AT RECESSED BALCONIES AT NE CORNER

NOTE: DECKING SUPPORT POST LOCATIONS ARE APPROXIMATE

- 2 GROUNDCOVER**
 - EXISTING GROUNDCOVER TO REMAIN
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- 3 NEW LED EXTERIOR SCONCE**
 - WALDEN OUTDOOR WALL SCONCE (MODEL NO. 49550BKTLED) AS MANUFACTURED BY KICHLER
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- 4 PRIVACY SCREEN**
 - McNICHOLS (NO. 17111832SA) MESH
 - FINISH = BLACK
 - 6' TALL

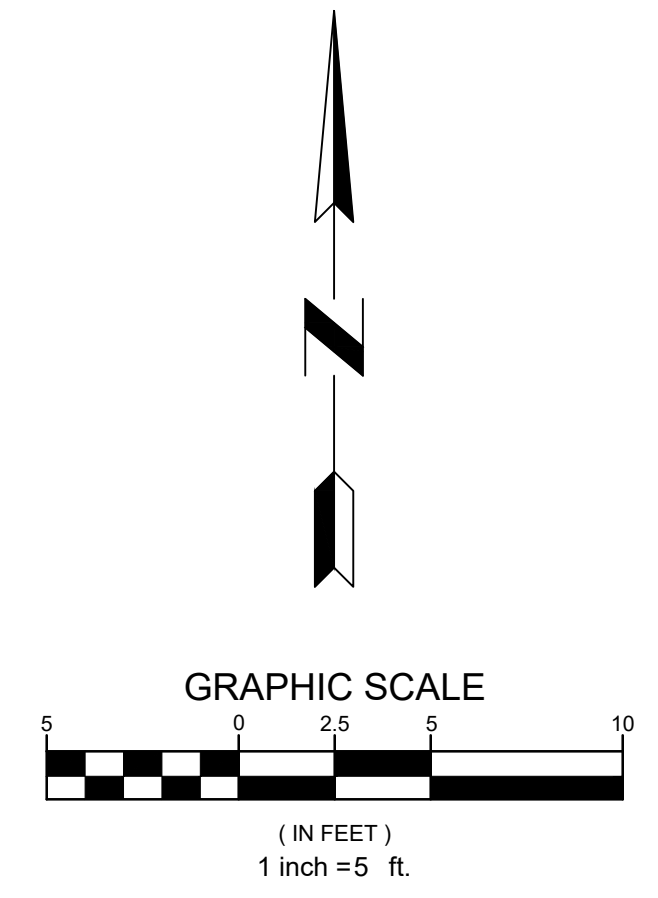
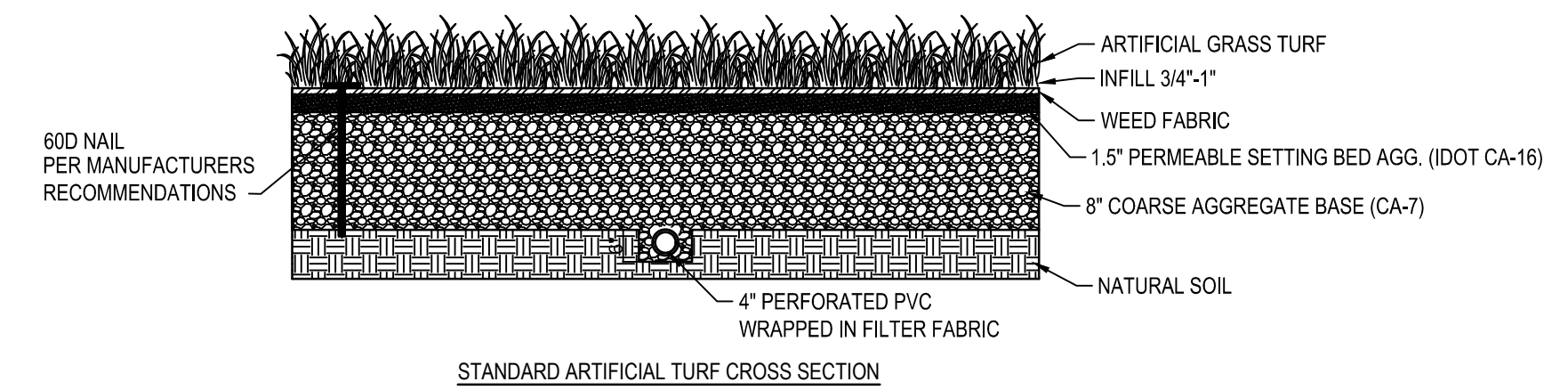
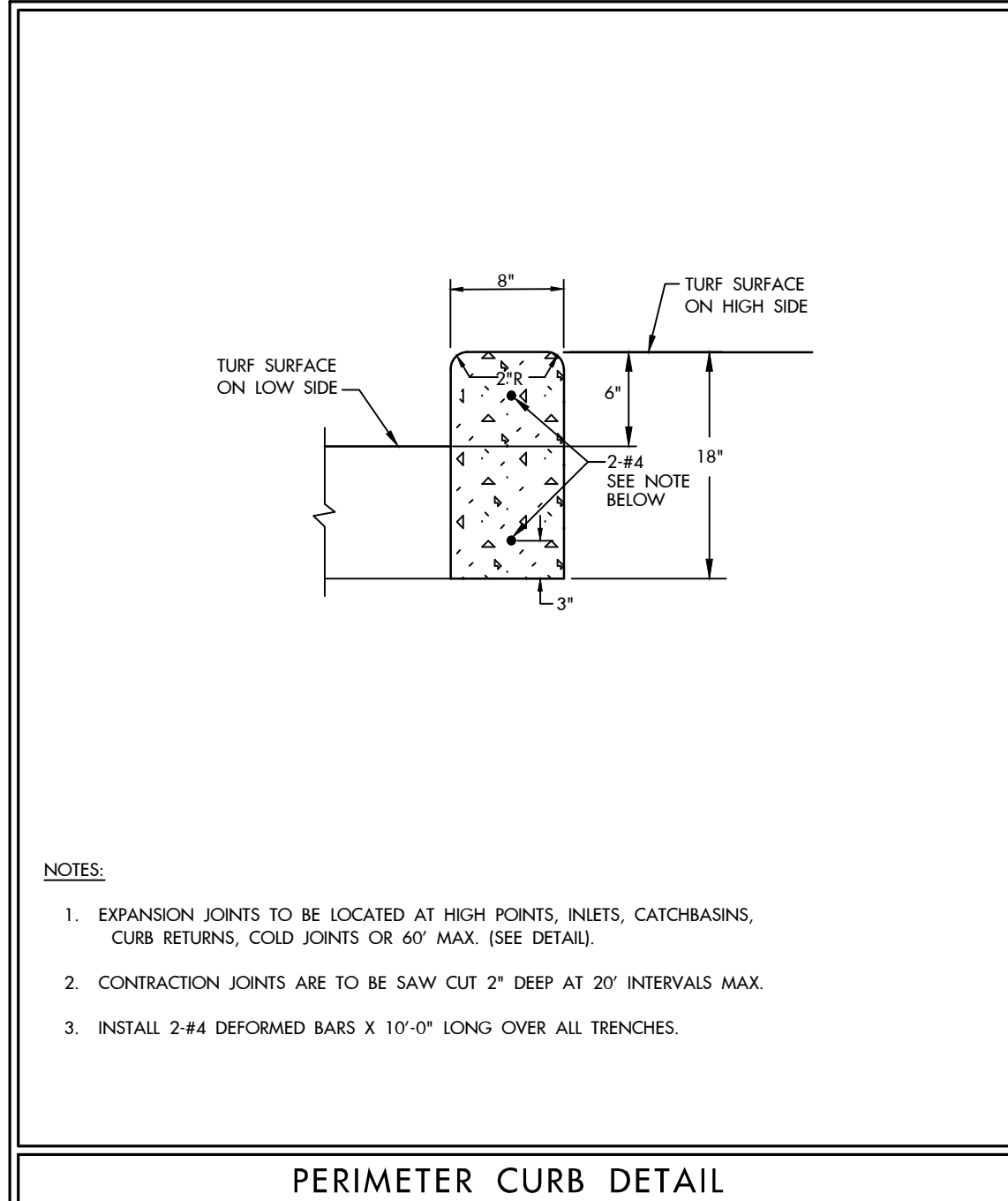
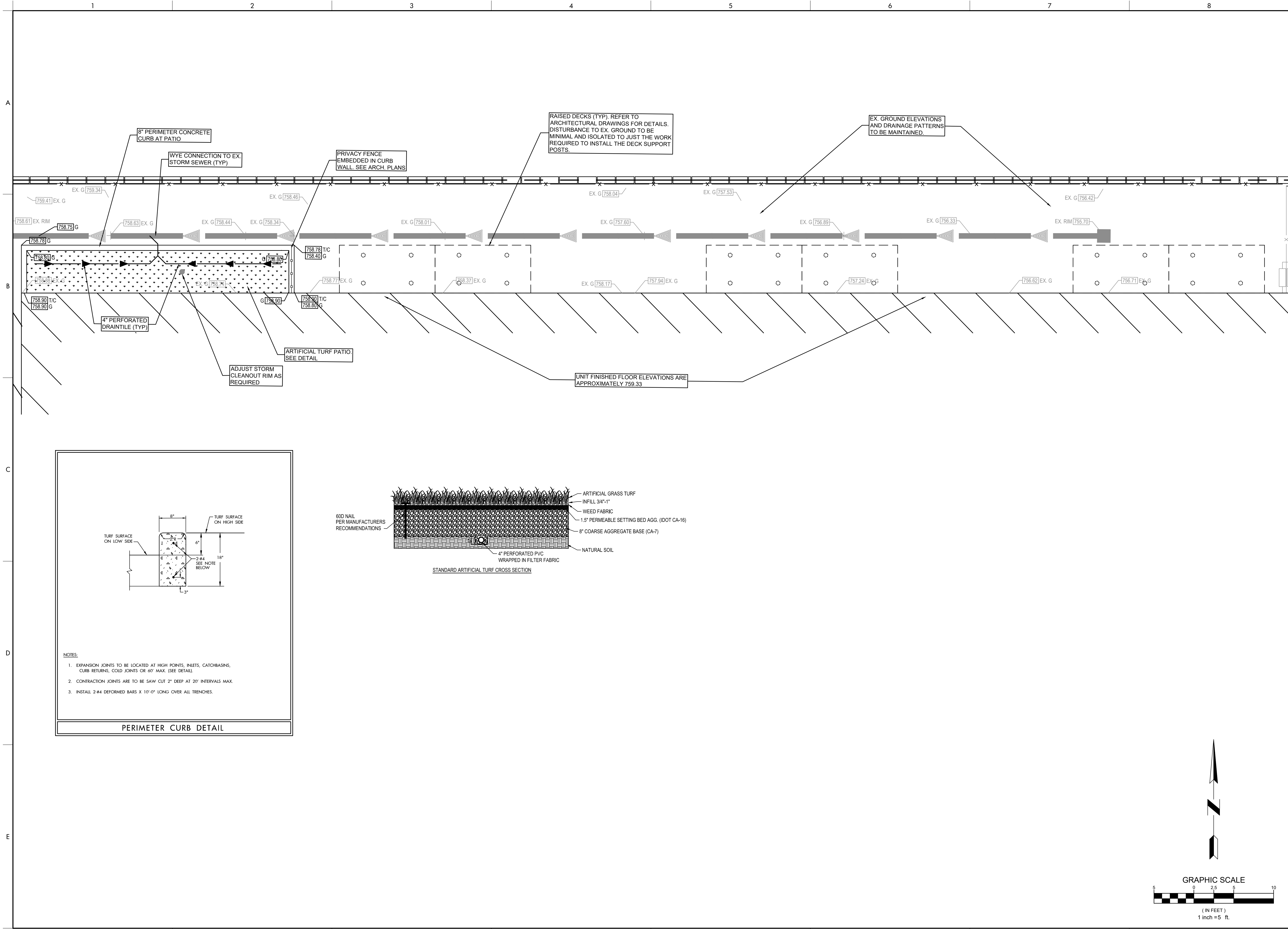
- 5 ARTIFICIAL TURF**
 - 383SG K9 SERENITY TURF WITH FLOW-THROUGH DRAINAGE SYSTEM, AS MANUFACTURED BY SHAWGRASS
 - COLOR = 321 OLIVE / GREEN-JUTE

GENERAL NOTES

- 1. EXISTING LANDSCAPING TO REMAIN. ANY PLANTINGS DISTURBED BY CONSTRUCTION OF NEW DECKS TO BE REPLACED.



1 L2 NORTH ELEVATION: AREA OF WORK
A-101 SCALE: 3/16" = 1'-0"



REVISIONS

CIVIL ENGINEERS - PLANNERS - DEVELOPMENT CONSULTANTS

CIVWORKS
Consulting, LLC

3343 N. NEVA AVENUE
CHICAGO, ILLINOIS 60654
Ph: (312) 637-9270
Fax: (312) 637-9454
E-mail: info@civworks.com
www.civworks.com
VILLAGE OF GLENWOOD STATION, ILLINOIS

PROPOSED PATIO AND DECKS GRADING EXHIBIT

GLENWOOD STATION
464 GLENWOOD AVENUE, GLEN ELLYN, IL 60137

SHEET TITLE:

PROJECT:

PROJ. MGR.: OP

DRAWN BY: OP

FIRST ISSUE DATE: 02-09-2026

SCALE: 1"=5'

SHEET NO.
EXH-1.0

PROJ. NUMBER: 20014

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Page 43 of 166



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Tx:40248121

KATHLEEN V. CARRIER, RECORDER
DUPAGE COUNTY ILLINOIS
01/28/2021 09:32 AM



DOCUMENT # R2021-014891

Village of Glen Ellyn

Ordinance No. 6834

**An Ordinance Granting Approval of a
Special Use Permit for a Preliminary Planned Unit Development
Plan with Deviations, a Final Planned Unit Development, A Special
Use Permit and the Exterior Appearance For a
Mixed-Use Development to be Known As
Glenwood Station and to be Located at
460 Crescent Boulevard, Glen Ellyn, IL 60137
(new address: 464 Glenwood Avenue, Glen Ellyn, IL 60137)**

**Adopted by the
President and the Board of Trustees
Of the Village of Glen Ellyn
DuPage County, Illinois
This 14 Day of Dec, 2020**

Published in pamphlet form by the authority
of the President and Board of Trustees of the
Village of Glen Ellyn, DuPage County, Illinois,
this 15 day of Dec, 2020.

PREPARED BY AND MAIL TO:

**VILLAGE OF GLEN ELLYN
ATTN: VILLAGE CLERK
535 DUANE STREET
GLEN ELLYN, IL 60137**

DOCUMENT SUBMITTED WITH
LOW QUALITY / ILLEGIBLE PORTIONS

Ordinance No. 6834

**An Ordinance Granting Approval of a
Special Use Permit for a Preliminary Planned Unit Development
Plan with Deviations, a Final Planned Unit Development, A Special
Use Permit and the Exterior Appearance For a
Mixed-Use Development to be Known As
Glenwood Station and to be Located at
460 Crescent Boulevard, Glen Ellyn, IL 60137
(new address: 464 Glenwood Avenue, Glen Ellyn, IL 60137)**

Whereas, Michael O'Connor, Vice President of Development & Leasing of Holladay Property Services Midwest Inc., is the contract purchaser of the property commonly known as 460 Crescent Boulevard (new address: 464 Glenwood Avenue), legally described herein ("Subject Property"), attached hereto and incorporated herein by reference; and

Whereas, Michael O'Connor, Vice President of Development & Leasing of Holladay Property Services Midwest, Inc. ("Petitioner"), has petitioned the President and Board of Trustees of the Village of Glen Ellyn, for approval of the following (collectively, the "Zoning Approval"):

- A. A Special Use Permit for a Planned Unit Development on the Subject Property located at 460 Crescent Boulevard in accordance with Section 10-10-15 of the Glen Ellyn Zoning Code and approval of the Preliminary Planned Unit Development Plan and the Final Planned Unit Development Plan.
- B. The following zoning deviations from the Glen Ellyn Zoning Code (collectively, the "Deviations"):
 1. To allow 102 parking stalls where a total of 151 are required for a mix of 86 studio, one-bedroom, and two-bedroom multi-family dwelling units and 1,490 square feet of commercial use [Section 10-4-17-2(G)(8), Section 10-4-17-2(G)(1)];
 2. To allow a corner side yard setback of zero (0) feet where a setback of approximately 39 feet six (6) inches is required from the south (corner side) lot line [Section 10-4-17-2(D)(2)(b)];
 3. To allow an overall maximum height of approximately 67 feet, including parapet walls, elevator overrun, HVAC units, mechanical units, and any other rooftop structures where 60 feet is permitted [Section 10-4-17-2(E)(2)];
 4. To allow the front façade of the proposed building (facing Glenwood Avenue) to not be 'stepped back' 15 feet where the building is taller than 45 feet in height [Section 10-4-17-2(E)(1)];

5. To allow impervious surface setbacks from the north (interior side), east (front), and south (corner side) lot lines of approximately zero (0) feet where a setback of five (5) feet six (6) inches is required [Section 10-5-5(C)(1)];
 6. To allow the emergency generator to be approximately four (4) feet seven (7) inches from the north (interior side) lot line where a setback of at least five (5) feet six (6) inches is required [Section 10-5-5(B)(4) #10.b];
 7. To allow mechanical equipment as a permitted encroachment in the side yard between the north (interior side) lot line and the north elevation of the proposed building to be approximately three (3) feet from said lot line where a setback of 11 feet is required [Section 10-5-5(B)(4) #19];
 8. To allow a maximum lot coverage of approximately 84 percent where a lot coverage of 65 percent is permitted [Section 10-7-9(D)];
 9. The following deviations from Section 10-5-8(I) are required:
 - a. To allow one (1) parking stall at a 45-degree angle to be 16 feet 10 inches in length where a length of 19 feet is required;
 - b. To allow an approximately 14-foot drive aisle for one 90-degree parking stall where a 25-foot drive aisle is required
 10. To allow exterior light fixtures to have exposed tops and sides where they are required to be shielded on the tops and sides [Section 10-5-13(M)(1)(c)].
- C. A Special Use Permit per Section 10-10-14 of the Zoning Code to allow multi-family dwellings on the property located at 460 Crescent Boulevard.
- D. Exterior Appearance approval in accordance with the Glen Ellyn Appearance Review Guidelines, Ordinance No. 5508.

all to allow the construction of a five-story mixed-use building on the Subject Property; and

Whereas, the Subject Property is located at 460 Crescent Boulevard in the C5B Central Service Subdistrict, on the north side of Crescent Boulevard and on the west side of Glenwood Avenue between Glenwood and Prospect Avenues, and is legally described as follows:

460 CRESCENT BOULEVARD (NEW ADDRESS: 464 GLENWOOD AVENUE)
 THE SOUTH 110 FEET OF ALL THAT PART OF BLOCK 5 IN THE TOWN OF DANBY
 (ALSO BLOCK 5 IN THE PLAT OF COUNTY CLERK'S SECOND ASSESSMENT DIVISION)
 ALL IN THE SOUTHWEST ¼ OF SECTION 11, TOWNSHIP 39 NORTH, RANGE 10, EAST
 OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE WEST LINE OF LOT 3 IN
 MORRELL'S PLAT OF LOTS 2 AND 3, BEING PART OF SAID BLOCK 5 ACCORDING TO

THE PLAT OF SAID MORRELL'S LOTS RECORDED JANUARY 10, 1962 AS DOCUMENT R62-994, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-11-314-008

Whereas, following due and proper publication of notice in The Daily Herald not less than fifteen (15) nor more than thirty (30) days prior thereto, and following written notice to all property owners within 250 feet of the Subject Property, and following the placement of placards on the Subject Property not less than fifteen (15) days prior thereto, the Glen Ellyn Plan Commission conducted a remote public hearing on the virtual meeting platform, Zoom, on November 12, 2020, as permitted by Public Act 101-0640, which was signed into law by Governor Pritzker on June 12, 2020, at which the petitioner presented evidence and testimony in support of the Zoning Approval, and at which one (1) person appeared in favor of the Zoning Approval and zero (0) persons appeared in opposition thereto, and at which comments received prior to the remote public hearing from eleven (11) members of the public were read into the public record, of which two (2) comments were in support of the Zoning Approval and five (5) were in opposition thereto, and four (4) were neither in favor nor against; and

Whereas, after having considered the evidence presented, including the exhibits and materials submitted, the Plan Commission made its findings and recommendations and by a vote of six (6) "yes" and one (1) "no" with two (2) absent, the Plan Commission recommended approval of the Petitioner's Zoning Approval request with conditions as set forth in the November 12, 2020 minutes of the Plan Commission, the approved copy of which is attached hereto as Exhibit "B"; and

Whereas, the Village President and Board of Trustees have reviewed the evidence, exhibits, and materials presented at the public hearing of the Plan Commission and have considered the findings and recommendations of the Plan Commission and hereby make the following findings of fact in regard to the request; and

Whereas, in regard to the requested Special Use for a Planned Unit Development, including the Preliminary and Final Planned Unit Development Plans and the deviations noted herein above, the Village Board finds that:

1. That the proposed development will not negatively affect the community as a whole because the 86 dwelling units, 1,490 square feet of commercial space, and two enclosed tiers of no less than 102 parking stalls are consistent with the future land use designation and objectives of the 2001 Comprehensive Plan and the 2009 Downtown Strategic Plan. The residential use will increase the number of consumers for the downtown and the associated parking is sufficient for the proposed number of apartments due to its proximity of less than one quarter mile from the Glen Ellyn Metra station. Further, the associated residential use will not overburden adjacent streets and or decrease the level of service of adjacent intersections. The commercial space will also be occupied by a use normally permitted by right or as a special use in the C5B Central Service Subdistrict.
2. That the proposed development will not negatively affect the neighborhood as the proposed height is consistent with adjacent multi-family residential properties to the north and other multi-family residential properties in the downtown. The subject property is located at a low point in the downtown further reducing the impact of the proposed height of the development. The proposed front, corner, side and rear yard setbacks are consistent with those of other properties in the downtown.
3. That the proposed development is a combination of residential and commercial uses such that they support one another, with sufficient parking enclosed below grade and at grade, a commercial space for a new business which the residents of the building may frequent. The proposed development includes amenities for the future apartment residents, including but not limited to, a fitness facility, conference room, club room, and pet spa. That part of the property not covered by the building or pavement is landscaped with low maintenance landscape materials along the north and west sides of the building. Again, the setbacks for the buildings are compatible with those of surrounding properties in the Central Business District. The proposed parking is adequate for the uses proposed on the site, and while no loading space is required of the development, one has been provided on the north side of the building.
4. That the proposed development will not negatively affect the development procedures, including but not limited to, the proposed streetscape improvements within the downtown as the petitioner is required to coordinate with the Public Works Department; and

Whereas, in regard to the requested Special Use to allow a mixed use development including residential dwelling units in the C5B Central Service Subdistrict, the Village Board finds that:

1. The proposed use will be harmonious and in accordance with the general objectives, or within a specific objective of the Comprehensive Plan and/or Zoning Code, because the proposed development with 1,490 square feet of ground floor commercial space, 86 apartments, and two enclosed tiers of no less than 102 parking stalls fulfills many of the recommendations of the 2009 Downtown Strategic Plan, including the recommendation to construct a minimum of 450 new

dwelling units in the downtown by adding 86 dwelling units. The proposed development will therefore meet the objective to “increase the Village’s population within walking distance of the downtown by increasing the number of dwelling units (and thereby consumers) in and around the Downtown.” The Downtown Strategic Plan also calls for “additional dwelling units for different types of households – especially empty-nesters (couples who no longer need a big house but want to remain in Glen Ellyn) and young professionals (individuals and couples who want to live in Glen Ellyn but don’t need or want a house at this stage in their lives).” The proposed development provides two enclosed tiers of at least 102 parking stalls for the multi-family dwelling units, which is also consistent with the future land use of the subject property as “potential residential with structured parking” as recommended in the Executive Summary of the Downtown Strategic Plan. Additionally, the proposed development is consistent with Initiative 18 of the Downtown Strategic Plan, which describe the area as being a primarily residential, mixed-use development with up to 18,000 square feet of retail and 168 dwelling units (d.u.), above one to two lower levels of parking. The proposed development will provide 1,490 square feet of leasable commercial space fronting Glenwood Avenue and contribute to the downtown shopping and dining experience, whereas the property, with a 13,500 square-foot commercial building and surface parking lot, has been vacant since October 2016 and not been contributing to the Downtown. Finally, overall maximum height of 66 feet 8 inches due to the elevator overrun is consistent with the Planning Influences subsection of the 2001 Comprehensive Plan, which states that a height bonus of up to 65 feet for certain circumstances is appropriate in the C5B Central Service Subdistrict.

2. The planned unit development will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area because the proposed development is in proximity to existing multi-family buildings to the north, which are also multiple stories in height similar to the proposed development. The subject property on which the development is proposed is located at a lower point in the Downtown as the elevation increases to the north, further lessening the impact of the proposed height. The proposed development is also within less than a quarter mile of the Glen Ellyn Metra station, which is important to facilitate transit-oriented development. The traffic study prepared by KLOA, Inc. notes that residents in transit-oriented development are two times less likely to own a car and the proposed parking ratio is sufficient for the 86 apartments proposed. The traffic study also states that the traffic generated by the apartments and the commercial use will be relatively low and not overburden the adjacent street network or reduce the levels of service of the intersections.
3. The proposed use will not be hazardous or disturbing to existing or future neighborhood uses of the property because the proposed development is consistent with the future land use designated in both the 2001 Comprehensive Plan and the 2009 Downtown Strategic Plan. The property is currently occupied by a vacant 13,500 square foot commercial building and surface parking lot with 42 stalls. The proposed development will provide 1,490 square feet of ground floor commercial space along Glenwood Avenue and 86 apartments, which adds to the number of consumers able to frequent downtown businesses.
4. The proposed use will be served adequately by existing public facilities and services such as highways, streets, police, fire protection, drainage structure, refuse disposal, water, sewers and schools because the public facilities and services are sufficient to serve the proposed development. The existing storm, sanitary and water services have sufficient capacity to serve the proposed development. The anticipated future residents will most likely be adults with few if any school

aged children. The Building will be served by two elevators and with automatic sprinklers and an emergency generator for added safety. The proposed development will be owned by a single entity and be professionally managed by an on-site management company. The owner of the building will contract private refuse and recycling, building and grounds maintenance including landscaping and snow removal.

5. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the Village because the proposed 86 apartments are anticipated to be occupied by "renters by choice" seeking an alternative to traditional single-family homes. By increasing the population in the downtown, the number of consumers able to walk to businesses in the downtown will also increase and therefore contribute to the economy in the downtown and generate additional sales tax revenue. The proposed development will also generate significant increment within the downtown TIF district. This increment then can be used toward public improvement projects and other redevelopment opportunities within the Village.
6. The use will not involve activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare and odors because the proposed development, being mixed-use that is primarily residential, will not involve uses, activities, processes, material or equipment that would be detrimental to any persons or property or the general welfare and will not produce excessive traffic, noise, smoke, fumes, glare or odors. The 1,490 square feet of commercial space on the ground floor of the proposed development will also conform to the uses listed in the C5B Central Service Subdistrict. The proposed development will also be designed to conform to applicable building codes, which regulate the life safety and welfare of the general public. The surrounding area will benefit by increasing the number of potential consumers of downtown businesses.
7. The development will have vehicular approaches to the property, which shall be so designed as not to create an undue interference with traffic on surrounding public streets or roads because vehicular traffic will be directed to Crescent Boulevard and the traffic generated by the proposed development will not negatively impact the level of service of the adjacent intersections. The proposed number of parking stalls are also sufficient to accommodate the proposed number of apartments, and public parking is available on adjacent streets and in the Crescent Glenwood parking lot to serve the commercial use.
8. The development will not increase the potential for flood damage to adjacent property or require additional public expense for flood protection, rescue or relief because the proposed development adds minimum additional impervious surface to the subject property compared to the existing conditions of the property. The net new impervious surface proposed is less than 300 square feet and therefore a drainage plan and stormwater management facility is not required per the Village's stormwater regulations. All stormwater is conveyed to the public storm sewer system and will not negatively impact adjacent properties.
9. The development will not result in destruction, loss or damage of natural, scenic or historic features of major importance to the community because the subject property is currently developed by an existing 13,500 square foot commercial building and a 42-stall surface parking lot and no natural or scenic features of major important to the community are located on or near the

subject property as noted in the Illinois Department of Natural Resources report dated June 9, 2020; and

Whereas, in regard to the petitioner's request for Exterior Appearance approval, the Village Board finds that the proposed exterior appearance is compatible with the goals and purpose of the Appearance Review Guidelines adopted on October 9, 2006 by adoption of Ordinance 5508; and

Whereas, the Village President and Board of Trustees have determined that approving the Special Use for a Planned Unit Development, including the Preliminary and Final Planned Unit Development Plans and the Deviations noted herein above, and the Special Use Permit to allow a mixed-use development including dwelling units in the C5B Central Service Subdistrict as recommended by the Plan Commission is consistent with the goals of the Glen Ellyn Zoning Code, and that the granting of the Exterior Appearance of the project as recommended by the Plan Commission is consistent with the recommendations of the Glen Ellyn Appearance Review Guidelines and in the best interests of the Village of Glen Ellyn.

Now, Therefore, Be it Ordained by the President and Board of Trustees of the Village of Glen Ellyn, DuPage County, Illinois, in the exercise of its home rule powers, as follows:

Section One: The approved Plan Commission meeting minutes, dated November 12, 2020 and attached as Exhibit "B" hereto, and the findings of fact set forth therein and in the preambles above are hereby adopted as the finding of fact of the Village President and Board of Trustees based upon their review of the evidence, exhibits, and materials presented at the November 12, 2020 remote public hearing before the Plan Commission.

Section Two: Based upon the findings of fact and recommendation of the Plan Commission, as adopted herein, and the findings of fact and conclusions set forth herein, the Village President and the Board of Trustees hereby grant approval of a Special Use Permit for a Planned Unit Development with Deviations, a Preliminary and Final Planned Unit Development Plan, a Special Use Permit for multi-family dwellings in the C5B Central Service Subdistrict, and the Exterior Appearance to allow

the construction of a five-story, mixed-use building on the Subject Property, as requested and identified herein above.

Section Three: This grant of approval is subject to the following conditions:

- A. The project shall be constructed, maintained, and operated in substantial conformance with the plans and testimony presented at the November 12, 2020 Plan Commission remote public hearing and before the Village Board of Trustees, including the following plans and documents referenced below, all of which are incorporated into this Ordinance as though they were attached hereto:
 1. Petitioner's Application Packet, including the following materials:
 - a. Petitioner's Cover Letter, dated 5/29/2020
 - b. Petitioner's Application for Preliminary PUD Approval, dated 5/29/2020
 - c. Petitioner's Application for Final PUD Approval, dated 5/29/2020
 - d. Petitioner's Application for Special Use Permit for Multi-Family Dwelling Units, dated 5/29/2020
 - e. Petitioner's Application for Exterior Appearance Approval, dated 5/29/2020
 - f. List of Requested Deviations
 - g. Supporting Application Materials
 - h. Representative Project References
 - i. EcoCAT Report, dated 6/9/2020
 - j. Land Use Opinion, dated 4/9/2020
 - k. Phase II Subsurface Investigation Report, prepared by AJS Group, Inc., dated 2/6/2015
 - l. Phase II Subsurface Investigation Report, prepared by AJS Group, Inc., dated 7/3/2017
 - m. Residential Market Analysis, prepared by Tracy Cross & Associates, dated September 2020
 - n. ALTA ACSM Land Title Survey, prepared by Lambert & Associates Land Surveyors, dated 3/21/2015, Exhibit "A"
 - o. Traffic Study, prepared by KLOA, Inc, dated 11/9/2020
 - p. Construction Schedule, prepared by Holladay Construction Group, no date
 2. Site Plans, all prepared by CivWorks Consulting, LLC
 - a. Existing Conditions (by others), C2.0, dated 12/1/2020
 - b. Site Demolition Plan, C2.1, dated 12/1/2020, Exhibit "C"
 - c. Site Dimensional & Paving Plan, C3.0, dated 12/1/2020, Exhibit "E"
 - d. Site Utility Plan, C4.0, dated 12/1/2020, Exhibit "F"
 - e. Site Grading Plan, C5.0, dated 12/1/2020
 - f. Average Existing Grade Exhibit, C5.1, dated 12/1/2020
 - g. Pervious/Impervious Exhibit, EX1.0, dated 12/1/2020
 - h. Garage Parking Vehicle Circulation Exhibit, TR1.0, dated 12/1/2020
 3. Architectural Plans and Landscape Plan, all prepared by Tandem Architecture, Inc.
 - a. Main Street-Parking Level PUD Plan, A-102, dated 11/23/2020, Exhibit "D"
 - b. Lower Level Floor Plan, A-101, dated 11/5/2020, Exhibit "K"

- c. Floors 2-5, A-103, dated 9/29/2020, Exhibit "L"
- d. Elevations, A-200, dated 11/23/2020, Exhibit "J"
- e. Landscape Plan, L-100, dated 11/23/2020, Exhibit "G"
- f. Building Sections, A-300, dated 9/29/2020
- g. Elevations in color, A-400, dated 11/23/2020
- h. Renderings – daytime, A-401, dated 11/23/2020
- i. Renderings – nighttime, A-402, dated 11/23/2020

4. Lighting Plans

- a. Photometric Plan, prepared by KSA Lighting & Controls, dated 12/9/2020, Exhibit "H"
- b. Light Fixture Cut Sheets, Exhibit "I"

and these plans and documents shall be filed with and made part of the permanent records of the Glen Ellyn Community Development Department;

- B. That the petitioner shall install, replace as necessary, and perpetually maintain all landscape materials per the approved landscape plan;
- C. That the petitioner prepare a construction management plan for Village review and approval that will be discussed at a pre-construction meeting with the Police, Fire, Public Works, and Community Development Departments and that said Village staff approve the construction management plan before the issuance of a building permit;
- D. That the proposed drop-off/pick-up recessed curb area at the northwest corner of the Crescent-Glenwood intersection, should it remain and be incorporated into the Village Board approved downtown streetscape improvement plan, be signed with a time limit of 15 minutes;
- E. That the petitioner shall comply with the downtown streetscape improvement plan adopted by the Village Board for the Glenwood Avenue and Crescent Boulevard rights-of-way and coordinate with Public Works on the installation of the materials;
- F. That any outdoor café seating obtain a license agreement with the Village annually before seating is installed outside and used;
- G. That the petitioner coordinate with Public Works to install a new bike rack consistent with downtown streetscape furniture in an appropriate location;
- H. That sheets A-101 and A-102, prepared by Tandem Architecture, Inc., dated 11/5/2020, which propose a total of 104 parking stalls, be modified as required by the 2018 Illinois Accessibility Code and Section 10-5-13(I) of the Glen Ellyn Zoning Code, provided that no less than 102 parking stalls be shown on the plan prior to building permit issuance;
- I. That all visible rooftop mechanical units be screened with a height not to exceed that of the overall maximum height deviation granted;

- J. That the petitioner understands that at the time of approval of this ordinance the streetscape plans are in draft form and subject to change and the petitioner will implement the final streetscape plan approved by the Village Board;
- K. That the petitioner secure all required temporary construction and perpetual easements on private property before the issuance of any building permits;
- L. That the petitioner pay a total of \$171,205.64 in developer donations for dispersal to the Glen Ellyn Park District, School District 41, School District 87, the Glen Ellyn Library, and the Glen Ellyn Volunteer Fire Company before the issuance of any construction building permits;
- M. That all floor plans, elevations, and other architectural plans be consistent with one another to the satisfaction of the Building & Zoning Official;
- N. That pedestrian safety lights at the garage doors on the Crescent façade be installed.
- O. That the building elevations be updated for the building permit submittal to match the photometric plan that has been revised to include the historic lighting fixtures recommended by the Historic Preservation Commission; and
- P. That all requirements outlined in the Redevelopment Agreement that are necessary prior to the issuance of a building permit shall be satisfied prior to building permit issuance..

Section Four: The Village Board may, for good cause shown, waive or modify any conditions set forth in this Ordinance without requiring that the matter return for public hearing.

Section Five: This Ordinance shall be in full force and effect from and after the passage, approval, and publication in pamphlet form.

Section Six: The Building and Zoning Official is hereby authorized and directed to issue building permits for the subject property, consistent with the approvals granted herein, provided that all conditions set forth hereinabove have been met and that the proposed construction is in compliance with all other applicable laws and ordinances. This grant of the approvals shall expire and become null and void twenty-four (24) months from the date of passage of this Ordinance unless a building permit to begin construction in accordance with this Ordinance is applied for within said twenty-four (24)-month time period and construction is continuously and vigorously pursued provided, however, the Village Board, by motion, may extend the period during which permit application, construction, and completion shall take place.

Section Seven: The Village Clerk is hereby authorized to record this Ordinance with the DuPage County Recorder.

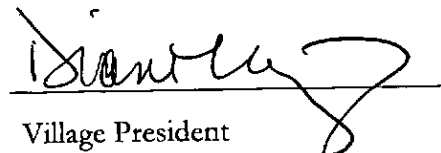
Section Eight: The privileges, obligations, and provisions of each and every section of this Ordinance shall be binding on Holladay Property Services Midwest, Inc., on any and all of their successors and assigns, and on any and all of the respective successor legal or beneficial owners of all or any portion of the property commonly known as 460 Crescent Boulevard, Glen Ellyn, Illinois.

Section Nine: The foregoing recitals are incorporated as though fully set forth in this Section Nine.


Passed by the President and Board of Trustees of the Village of Glen Ellyn, Illinois this 14 day of Dec 2020.

| | | | | | | |
|--------|-------------------------------------|--------------------|-------------------------------------|----------------|-------------------------------------|--------------|
| Ayes | <input type="checkbox"/> | Diane McGinley | <input checked="" type="checkbox"/> | Steve Thompson | <input checked="" type="checkbox"/> | Mark Senak |
| | <input checked="" type="checkbox"/> | Craig Pryde | <input checked="" type="checkbox"/> | Bill Enright | <input checked="" type="checkbox"/> | Gary Fasules |
| | <input checked="" type="checkbox"/> | Kelli Christiansen | | | | |
| Nays | <input type="checkbox"/> | Diane McGinley | <input type="checkbox"/> | Steve Thompson | <input type="checkbox"/> | Mark Senak |
| | <input type="checkbox"/> | Craig Pryde | <input type="checkbox"/> | Bill Enright | <input type="checkbox"/> | Gary Fasules |
| | <input type="checkbox"/> | Kelli Christiansen | | | | |
| Absent | <input type="checkbox"/> | Diane McGinley | <input type="checkbox"/> | Steve Thompson | <input type="checkbox"/> | Mark Senak |
| | <input type="checkbox"/> | Craig Pryde | <input type="checkbox"/> | Bill Enright | <input type="checkbox"/> | Gary Fasules |
| | <input type="checkbox"/> | Kelli Christiansen | | | | |

Approved by the Village President of the Village of Glen Ellyn, Illinois this 14 day of Dec 2020.


 Village President

Attest:



Village Clerk

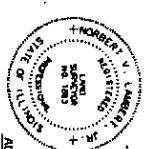
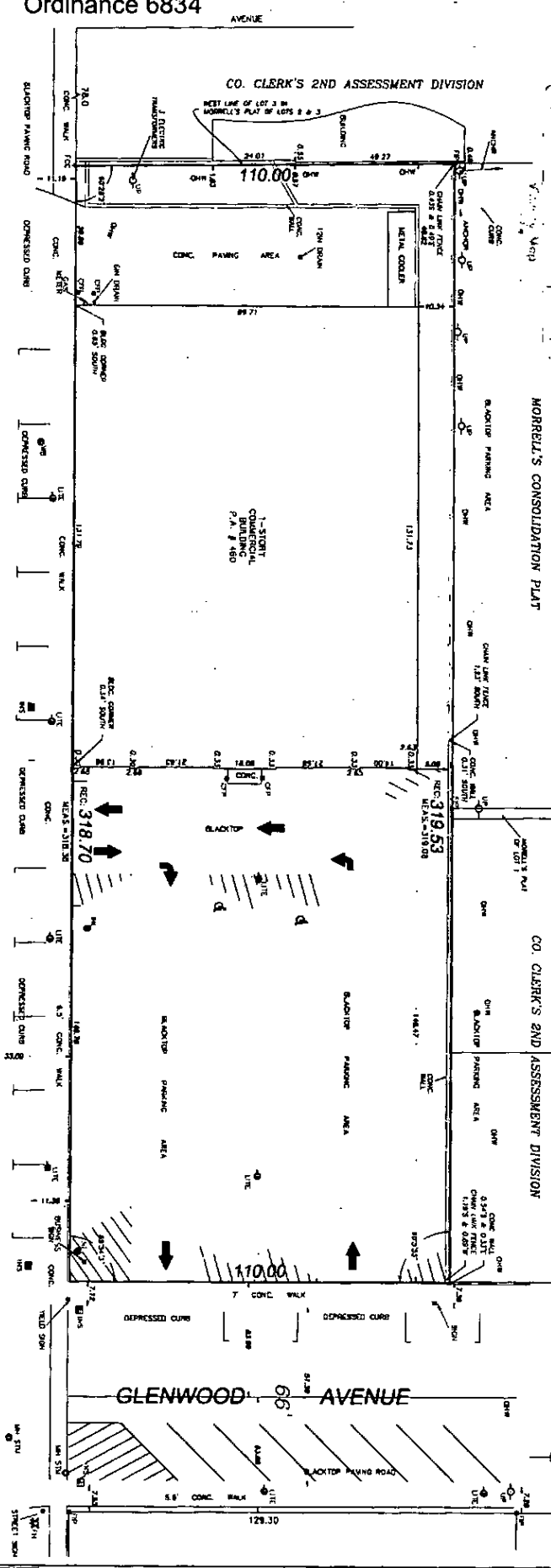
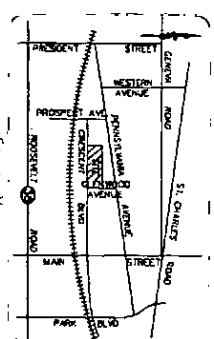
AFFIX VILLAGE SEAL

(Published in pamphlet form and posted on the 15 day of Dec, 2020.)

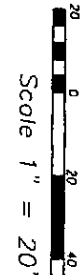
EXHIBIT A
Ordinance 6834

ALTA/ACSM LAND TITLE SURVEY

LEGAL DESCRIPTION: 480 CRESCENT BOULEVARD, GLEN ELYN, ILLINOIS, 60137
 THE SOUTH 110 FEET OF ALL THAT PART OF BLOCK 5 IN THE TOWN OF GANBY (ALSO BLOCK 5 IN THE PLAT OF COUNTY CLERK'S SECOND ASSESSMENT DIVISION) ALL IN THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE WEST LINE OF LOT 3 IN MORRELL'S PLAT OF LOTS 2 AND 3, BEING PART OF SAID BLOCK 5, ACCORDING TO THE PLAT OF SAID MORRELL'S LOTS RECORDED JANUARY 10, 1897 AS DOCUMENT 182-984, IN DUPAGE COUNTY, ILLINOIS.
 Permanent Index No.: 08-11-314-008



ALTA/ACSM CERTIFICATION:
 THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE STANDARD RULE REQUIREMENTS FOR ALTA/ACSM SURVEYS AS SET FORTH IN THE OFFICIAL CODES OF THE STATE OF ILLINOIS, CHAPTER 124, PARAGRAPHS 1-10, 11-14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 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982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



- CERTIFIED TO:**
- SPRINGFIELD CAPITAL ADVISORS, LLC
 - CHICAGO TITLE INSURANCE COMPANY

MISCELLANEOUS NOTES:
 BUILDING AREA = 1313.00 SQ. FT.
 PROPERTY AREA = 5009.76 SQ. FT.
 OR 0.065 ACRES MORE OR LESS
 BUILDING HEIGHT = 17.7 FT.
 STRIPED PARKING SPACES = 36
 STRIPED PARKING SPACES = 2
 No interference of existing utility work or building construction on site.
 No obstructed evidence of site being used as a solid waste dump or sanitary land fill.

ORDERED BY: **LAMBERT & ASSOCIATES**
 LAND SURVEYORS
 955 WEST LIBERTY DR. WHEATON, IL 60187
 PHONE: (630) 653-6333 FAX: (630) 653-6396

FLOOD NOTE:
 DISCONTINUED FLOODING ONLY BASED ON THE THUNDER BOLT LIGHT FLOOD MAP NUMBER 170430008-A DATED 08/01/00. THE DATE OF THE NEXT FLOODING IS NOT IN A SPECIAL FLOOD HAZARD AREA.

Legend of Symbols & Abbreviations

- | | |
|-----------------------------------|-------------------------------|
| • INDICATES NON PER FOUND (N/P) | ⊙ CONCRETE FILLD POY (C/P) |
| ⊙ EXISTING VALVE W/ALT | ⊙ AIR-CONDITIONING UNIT |
| ⊙ EXISTING SQUARE INLET | ⊙ EXISTING TELEPHONE BOX |
| ⊙ EXISTING SQUARE INLET | ⊙ EXISTING WELLS |
| ⊙ (V-VAL) INDICATES VALVE MANHOLE | ⊙ EXISTING THURPE BOX |
| ⊙ (S-VAL) EXISTING STORM WAREHOLE | ⊙ EXISTING STREET LIGHT (S/L) |
| ⊙ (O-R-S) EXISTING STORM WAREHOLE | ⊙ HANDED PARKING SIGN |
| ⊙ EXISTING UTILITY POLE | ⊙ ELECTRIC TRANSFORMER |
| ⊙ EXISTING FIRE HYDRANT (F/H) | ⊙ ELECTRIC BOX |
| | ⊙ EXISTING CONCRETE FAVENHOLE |

EXHIBIT B
Ordinance 6834

MINUTES
REGULAR PLAN COMMISSION MEETING
November 12, 2020

Call to Order and Roll Call

The meeting was called to order at 7:00 p.m. by Chairperson Mary Loch, who introduced herself and described the Commission's function and reviewed the evening's meeting procedures, conducted via the Zoom platform due to a disaster declaration related to Covid19. She made a plea for patience with running the public hearing meeting remotely, and outlined procedure, including how public comment would be managed. Chairperson Loch introduced meeting participants Village Community Development Director Staci Springer, Village Planners Kelly Purvis and Katie Ashbaugh, Associate Planner Cole Jackson, Village Trustee Bill Enright, and Recording Secretary Barb Dutton.

Roll call commenced. Present: Chairperson Loch and Plan Commissioners Laura Brown, Angela Fanella, Tracy Heming-Littwin, John Mulherin, David Rodemann, Mohammed Saeed and Jamie Vondruska. Absent: Plan Commissioner Lloyd Berry.

Adoption of Emergency Allowance of Remote Participation by the Plan Commission

A motion to allow remote participation in the meeting was made by Commissioner Heming-Littwin, and seconded by Commissioner Saeed. The motion carried by roll call vote with eight (8) yes votes and zero (0) no votes as follows: Commissioners Heming-Littwin, Saeed, Brown, Fanella, Mulherin, Rodemann and Vondruska and Chairperson Loch voted "yes."

Public Comment Non-Agenda Items

There was no public comment pertaining to non-agenda items.

Approval of October 22, 2020 Plan Commission Meeting Minutes

Commissioner Heming-Littwin made a motion to approve the draft minutes of the October 22, 2020 Regular Plan Commission meeting; seconded by Commissioner Mulherin, the motion carried by roll call vote with eight (8) yes votes and zero (0) no votes as follows: Commissioners Heming-Littwin, Mulherin, Brown, Fanella, Saeed, Rodemann and Vondruska and Chairperson Loch voted "yes."

Public Hearing - Public Hearing to consider to consider a Planned Unit Development with Zoning Deviations and a Special Use Permit to allow a 5 story, Mixed Use development at 460 Crescent Boulevard

A motion to open the Public Hearing to consider a Planned Unit Development with Zoning Deviations and a Special Use Permit to allow a 5 story, Mixed Use development at 460 Crescent Boulevard, "Glenwood Station," was made and seconded by Commissioners Heming-Littwin and Mulherin, respectively. The motion carried by roll call vote with eight (8) yes votes and zero (0) no votes as follows: Commissioners Heming-Littwin, Mulherin, Saeed, Brown, Fanella, Rodemann and Vondruska, and Chairperson Loch voted "yes."

Staff Presentation

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Village Director of Community Development Staci Springer, Village Planners Kelly Purvis and Katie Ashbaugh, all of the Village of Glen Ellyn, 535 Duane Street, were sworn in. Planner Ashbaugh recounted public outreach notice that was undertaken and the review process relative to the proposed development, including that notice of the public hearing was published in the October 28, 2020, edition of the Daily Herald and mailed to property owners within 250 feet of the subject property, and that a placard was placed on the property, all per state statute and Section 10-10-11 of the Glen Ellyn Zoning Code.

She described that 460 Crescent Boulevard and the surrounding properties are all zoned CSB. She then described the existing conditions of the property, which include the former McChesney and Miller grocery store as a vacant building of some 13,500SF and a parking lot. She noted that the property has been vacant for over 6 years. She also noted the topography change on the approximately 8/10ths-acre site and the UP West rail line to the south. She stated that the long-range plan, as outlined in the 2001 Comprehensive Plan, recommended mix use, but primary residential, for the block. The proposed development, she said, is for a five-story building that is 2 feet, 3 inches shorter in height than the concept reviewed on May 14. She said that 1,490SF of commercial space is proposed on the first floor along Glenwood Avenue, an expansion based on previous feedback from the Plan Commission at the pre-application meeting. She said that the lobby size was also increased, but the 1.2 parking stall to dwelling unit ratio remains unchanged. She said that while the site is not in either of the National Register Districts in the Village nor is a local landmark, its downtown location prompted a few members of the Village Board to ask that the petitioner solicit feedback from the historic preservation community regarding the building's design.

Planner Ashbaugh described the changes made from the concept presented at the May 2020 pre-application meeting to the design tonight, which are: the tower elements have been removed, black window and door systems rather than white, three shades of brick, recessed balconies on the north elevation, gas lanterns and awnings. She continued that the second-floor apartments have enlarged balconies consistent in size with the club room balcony. She said that the garage doors now are residential-style with panels compared to the flat commercial-style ones proposed previously, and have been recessed 6-feet into the building. Planner Ashbaugh pointed out the elevator overrun, which is the basis of a height deviation request. A zero-foot setback on the Crescent side is proposed, and a deviation (from a requirement that a 15-ft. setback above 45 feet) has been requested for the Glenwood façade.

Planner Ashbaugh continued that the landscape plan includes both deciduous and coniferous shrubbery, a loading space, a dog run and black aluminum fencing. She also said a 6-foot tall opaque fence is proposed to screen mechanical unit view from Glenwood. She said that the building is to contain pet spa in the basement level, and parking with counter-clockwise circulation and 56 stalls including a compact stall that deviates from the minimum length requirement. She said that the at-grade interior parking also has counter clockwise circulation to accommodate 48 stalls (including required ADA stalls), and specifies a configuration deviation relative to drive-aisle width. She said that 104 stalls are proposed where 151 are required, but the relief noticed in the hearing notice is for 102 stalls in the event any stalls are eliminated to ensure compliance with the Illinois Accessibility Code during building permit review. She said that in addition to the proposed commercial space, the at-grade level includes other resident amenities, such as a bicycle studio.

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Planner Ashbaugh stated that three deviations are needed for impervious surface setbacks, and also deviations related to the location of the emergency generator and mechanical units to the north of the building. She proceeded to display illustrations of apartment unit layouts, and estimated monthly rents for the range of apartment types. She showed a second-floor plan drawing delineating a fitness center and a clubroom, and imparted that the upper floors – levels 3 through 5 – combined will contain 86 apartments.

Planner Ashbaugh summarized the zoning relief requested, included the various deviations:

- A Special Use Permit for a Preliminary and Final Planned Unit Development Plan with Zoning Deviations;
- A Special Use Permit for a multi-family residential; and
- Exterior Appearance Approval
- Deviations related to parking:
 - To allow 102 parking stalls where a total of 151 are required for a mix of 86 studio, one-bedroom, and two-bedroom multi-family dwelling units and 1,490 square feet of commercial use
 - To allow 1 parking stall at a 45-degree angle to be 16 feet 10 inches in length where a length of 19 feet is required
 - To allow an approximately 14-foot drive aisle for 1 90-degree parking stall where a 25-foot drive aisle is required
- Deviations related to setbacks:
 - To allow a corner side yard setback of 0 feet where a setback of approximately 39 feet 6 inches is required from the south (corner side) lot line
 - To allow impervious surface setbacks from the north (interior side), east (front), and south (corner side) lot lines of approximately 0 feet where a setback of 5 feet 6 inches is required
 - To allow the emergency generator to be approximately 4 feet 7 inches from the north (interior side) lot line where a setback of at least 5 feet 6 inches is required
 - To allow mechanical equipment as a permitted encroachment in the side yard between the north (interior side) lot line and the north elevation of the proposed building to be approximately 3 feet from said lot line where a setback of 11 feet is required
- Deviations related to building design and features:
 - To allow a corner side yard setback of 0 feet where a setback of approximately 39 feet 6 inches is required from the south (corner side) lot line
 - To allow impervious surface setbacks from the north (interior side), east (front), and south (corner side) lot lines of approximately 0 feet where a setback of 5 feet 6 inches is required
 - To allow the emergency generator to be approximately 4 feet 7 inches from the north (interior side) lot line where a setback of at least 5 feet 6 inches is required
 - To allow mechanical equipment as a permitted encroachment in the side yard between the north (interior side) lot line and the north elevation of the proposed building to be approximately 3 feet from said lot line where a setback of 11 feet is required

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Planner Ashbaugh said that should the project request be approved, Staff has recommended several conditions of approval. She said that the first set of conditions are standard for most new construction projects, the next set were specific to Public Improvements and the Public way, and that the last set are unique to this project. She listed them as follows:

Conditions of Approval – Standard

1. That the petitioner construct, maintain, and operate the development in substantial conformance with the plans and testimony presented at the Plan Commission public hearing and before the Village Board of Trustees;
2. That the petitioner shall install, maintain, and replace all landscape materials per the approved landscape plan;
3. That the petitioner prepare a construction management plan for review at a pre-construction meeting with the Police, Fire, Public Works, and Community Development Departments and that said Village staff approve the construction management plan before the issuance of a building permit;
4. That all visible rooftop mechanical units be screened with a height not to exceed that of the overall maximum height deviation granted;
5. That the petitioner secure all required temporary construction and perpetual easements on private property before the issuance of any building permits;
6. That all floor plans, elevations, and other architectural plans be consistent with one another to the satisfaction of the Building & Zoning Official prior to the issuance of any building permits.

Conditions of Approval – Public Improvements/Public Way

7. That the petitioner shall comply with the downtown streetscape improvement plan adopted by the Village Board for the Glenwood Avenue and Crescent Boulevard rights-of-way and coordinate with Public Works on the installation of the materials;
8. That all proposed improvements to the public right-of-way be subject to change per the pending downtown central business district streetscape improvement, per Village Board approval;
9. That the proposed drop-off/pick-up recessed curb area at the northwest corner of the Crescent-Glenwood intersection, should it remain and be incorporated into the Village Board approved downtown streetscape improvement plan, be signed with a time limit of 15 minutes;
10. That the petitioner coordinate with Public Works to install a new bike rack consistent with downtown streetscape furniture in an appropriate location;
11. That any outdoor café seating obtain a license agreement with the Village annually before seating is installed and used;

Conditions of Approval – Other

12. That sheets A-101 and A-102, prepared by Tandem Architecture, Inc., dated 11/5/2020, which propose a total of 104 parking stalls, be modified as required by the 2018 Illinois Accessibility Code

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and Section 10-5-13(l) of the Glen Ellyn Zoning Code, to provide that no less than 102 parking stalls prior to building permit issuance;

13. That the petitioner incorporate some additional design detail into the building as recommended by the Historic Preservation Commission and the Glen Ellyn Historical Society per the memo addressed to the petitioner dated October 21, 2020, including adding details to the building corners, varying the roofline by increasing the cornice heights and incorporating public art and historic light fixtures and any such changes shall be incorporated prior to Village Board review of the project;
14. That the petitioner pay a total of \$171,205.64 in developer donations for dispersal to the Glen Ellyn Park District, School District 41, School District 87, the Glen Ellyn Library, and the Glen Ellyn Volunteer Fire Company before the issuance of any building permits.

Planner Ashbaugh concluded her presentation and asked if the Plan Commission had any questions.

Plan Commission Questions of Staff

Commissioner Heming-Littwin asked how many feet the elevation dropped, to which Planner Ashbaugh responded, about 13 from the northeast corner to the south.

Commissioner Rodemann observed that over the last six years public parking was allowed and used in the lot, and wondered if having this space displaced would cause concern about adequate parking. Commissioner Springer explained that while an arrangement with property owners had been made, the parking lot had not been officially designated as Village parking and so represented a benefit, above and beyond the downtown parking inventory.

Commissioner Heming-Littwin asked if there is a retaining wall on the west side of the site. Planner Ashbaugh replied that there is one on the property line, and that it belongs to Lord's Auto.

Commissioner Fanella asked for an example of an existing Glen Ellyn store that could fit in the retail space identified in the proposed project, and also where the proposed building's elevator would be located. She was told by Planner Ashbaugh that the Beer Cellar and Marché were comparable commercial spaces, and that the elevator would be in the middle of the building.

Planner Purvis interjected to clarify Commissioner Heming-Littwin's question regarding the topography change that the elevation change from the northwest to the southeast of the block is about 15 feet to 17 feet.

Petitioner's Presentation

Petitioner Drew Mitchell, partner with Holladay Properties, 324 W. Burlington Ave., La Grange, Ill.; Chris Walsh, Tandem Architecture, 1040 W. Huron St., Suite 300, Chicago; and Javier Millan, principal with KLOA Inc. 9575 W. Higgins Rd., Rosemont, were sworn in for the Petitioner.

Mr. Mitchell expressed thanks for the pre-application meeting opportunity, and said the team has come back with a dramatically improved product. He said the Petitioner had engaged with the preservation community to pay homage to the heritage associated with the project site. He recounted his team's collaborative work and said he hopes the Commission is pleased with the result.

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Mr. Walsh conveyed that the team has been working with Staff and people in the village and thinks the Petitioner has “a great product” in the form of the approximately 145,000SF building. Mr. Mitchell said that units were designed to accommodate demographics forecast, as demonstrated by the unit option to command a monthly rent of \$1,450, which he said is considered workforce housing in the region. Mr. Walsh explained that the design keeps public spaces close to the street to enliven the street. Mr. Mitchell elaborated that this concept is applied to activate the pedestrian-level, carried up to the second-floor fitness and club areas. Mr. Walsh pointed out the revised design’s “clipped” entry corner, and the retail component facing Glenwood Avenue, from which the building is now pushed back 5 feet, allowing a wider sidewalk. Mitchell spoke of the lobby design that imitates that of a hotel, as well as modifications to meet lifestyle changes, such as a craft room. Walsh stated that an alley was created in the back of the building, and with its accompanying dog run along an 11-ft. retaining wall, barking will be relegated to below grade. Mr. Mitchell outlined the trash removal plan, which, he said, seeks to avoid commuter traffic. Mr. Walsh said a drop-off spot was added on the Crescent side, on which tree-planting is also envisioned.

Mr. Mitchell stated that leasing levels depend on ample parking, but that parking needs don’t always meet ordinances. He said that while, on average, one car per unit can be expected, for breathing room, the Petitioner is proposing a 1.2 parking ratio, and that ways are sought to mitigate parking demand. For example, an electric vehicle car-sharing program can encourage people to “ditch” their car, he said, adding that the approach is logical for a transit-oriented development (TOD). Referencing industry research and data, Mr. Millan explained that TODs have lower parking requirements than developments not in close proximity to public transportation. He concluded that for the subject development, the demand for parked vehicles would be 74 vehicles on a week day, and 99 on a Saturday, and that the ratio proposed is consistent with other, similar developments. Mr. Mitchell said that electrical vehicle charging stations are to be installed by the Petitioner.

Mr. Walsh gave a rundown of components to be included in the development, noting that Holladay wants a small office space in each unit in response to the pandemic creating more remote working conditions. He listed a shielded alley and trees around the site, and mentioned the redesigned south face of the building, ironwork, and widened sidewalks that figure into the revised concept. He said that a clock and flags – design elements he calls, “jewelry” – are also visualized. Discussing night lighting patterns, Walsh said, “We feel we got the lighting right, and the building as well.” He expects further research and engagement with the Historical Society as the project evolves, and shared images of buildings around the downtown business district that he indicated provided inspiration for the design. He mentioned carvings, gas lanterns and murals among potential design devices to satisfy Historical Society desires to reflect community heritage. In regard to the height variance sought, Mr. Walsh contended that, as the proposed building would be constructed on a low site, its height is “about the same” as the townhouses across Pennsylvania Avenue.

Plan Commission Questions of the Petitioner

Commissioner Mulherin asked the Petitioner to address safety in terms of building evacuation, as well as wondered about storm water control elements and whether apartments would have separate utility metering. Mr. Walsh responded that egress plans follow all IBC and local fire ordinance codes, and pointed to stairwells and exit pathways. Green space, he suggested, would help with storm water mitigation.

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Planner Ashbaugh interjected that the plan was under the threshold of 300 s.f. net new impervious surface, so that no new provide additional storm water facilities were required on the site. Mr. Mitchell said the plan calls for independent meters for electricity, though gas will be sub-metered.

Mike O'Connor, Vice President, Leasing and Development, Holladay Properties, 6370 Ameriplex Drive, Portage, Ind., was sworn in for the Petitioner. He said an emergency generator would support elevator function during an emergency evacuation.

Commissioner Heming-Littwin asked what type of retail space is envisioned for the development, to which Mr. Mitchell replied that a deli was being considered, but offered as other examples, hair and nail salons and a boutique in the vein of a wine shop.

Commissioner Rodemann sought confirmation that mechanical equipment was the highest building element. This was confirmed by Mr. Walsh, who said they are make-up air units, and that the plan was to use 3D imagery to see if they are visible from the street, and if so, the Petitioner would build screens. Commissioner Rodemann expressed a need to be sensitive to neighbors relative to visibility along with potential noise. He also inquired about safety measures relative to cars entering and exiting the parking garage on the Crescent side. Mr. Walsh said flashing lights would be installed, and possibly a beeping mechanism. He cited the 6-foot recess of the garage door into the building, and explained that the Petitioner has proposed a system whereby window stickers on cars prompt opening of the relatively slow garage doors. Commissioner Rodemann asked if the parking spaces would be assigned, and whether guest parking had been accounted for. Mr. Mitchell responded that all parking is assigned, but that typically in TOD projects underutilized municipal parking lots can be tapped. Planner Purvis stated that the Village allows overnight parking in municipal lots provided cars are removed prior to the morning commute. Planner Ashbaugh cited the suggestion of rooftop mechanical unit screening, to which Mitchell said the Petitioner would be happy to provide screening.

Commissioner Brown asked if an indoor parking spot was provided for the retail space, and whether trash would be able to be collected inside of the building rather than outside. Mr. Mitchell stated there was no provision for retail customer parking, but thought an internal space could be allocated to an employee. He explained that trash would be picked up outside of the building on Crescent, but the area is designed to be the least interruptive as possible.

Public Comment Submitted in Writing

Associate Planner Jackson read the following received written comment into the record:

Kay Quarfoot: *"When you list new apartments being built in Glen Ellyn, it would be informative to state if they will be rentals or condos to purchase. Thank you."*

Samantha Martin, 431 Ridgewood Ave.: *"I am writing to comment on the proposed apartment complex. As a new resident of Glen Ellyn, I am surprised at how many apartment buildings this town is currently building and considering to build. I have nothing against apartment buildings, but I would not have moved here if so many were going up. It will ruin the aesthetic and feel of this town, and crowd the downtown area."*

I vote no on this project. Thank you."

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Mike Weiler, 466H Pennsylvania Ave.: *"It is exciting to hear that Holladay Properties has returned to further their proposal for 460 Crescent Boulevard. This property has remained vacant for too long. As a nearby resident I have seen dangerous behavior happening on the current buildings roof and look forward to a new structure that will be cared for by the owner.*

The deviations that are being requested are not beyond reason for a building of this type going into a footprint of this size. The variance on the height is relatively small in comparison to the overall building. The parking stalls should easily service the people living within the building. Especially with so much within walking distance, vehicle sharing programs, and ride sharing.

It is wonderful to see the development on Main Street and Duane Street underway and nearing completion. These areas have definitely drawn the attention of renters and this new development will continue to draw people into the downtown area of Glen Ellyn.

Thank you for the opportunity to comment."

Lea Anne Howell, 713 Kenilworth Ave.: *"Minimal Building setback is not pedestrian friendly, or in keeping with older parts of downtown. Streetscape on south side along Crescent is particularly severe, barren, with no plantings except young trees. It will be terrible to walk along that sidewalk in the summer, heat radiating off that masonry wall. On east side, in addition to minimal setback, and no plantings, what's with the fencing all along the street? How can drivers let a passenger out of a car? How will the snow be cleared?"*

Janna Sampson, 470 Pennsylvania Ave.: *"My husband and I own and live in a townhouse directly to the north of the proposed development. We will have a direct view of the north side of the building from our 2nd floor living room as well as our 3rd floor guest room and 4th floor family room. I am concerned by the many variances that are requested for this development. While development of this property is desirable, having a development that meets our current zoning requirements would be good for the entire area. Homeowners should be able to rely upon the Zoning Code to protect their investment in their homes. By continually granting many variances to the code, you undermine the integrity of the Zoning Code itself. Continually granting zoning variations undermines the look and feel of our downtown area. I urge you to stick to the zoning requirements as you review this proposed development.*

My first specific concern is parking. This area already has a significant shortage of parking spaces and the developer is requesting to cut the required parking by 47 spaces. Even with the new parking garage on the south side of the tracks, parking on the north side will be very short. Renters, shoppers and diners will not want to park on the south side and walk across the tracks to get to their apartment or other destination. I think it is important that the full requirement of parking spaces be provided in this development. It is reasonable to think that every renter in this proposed development will have a car. Yes, we are close to the Metra station. But even if renters work in downtown Chicago, they will need a car to get basic necessities such as groceries and prescriptions. On Friday and Saturday evenings on Pennsylvania Ave, cars are often double parked and park blocking the entrance and/or the exit of The Legacy Condominiums. The many restaurants in the area make night time parking especially a problem (particularly once we can go back to full capacity inside dining). Currently this property is helping to offset the parking shortage as visitors use

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the lot for parking. When developed, this extra parking will no longer be available for visitors and parking will be harder to find for the residents that will occupy this building. Please require the full amount of parking spaces as determined by the zoning code.

My second concern is the lack of normal setbacks for the building. By reducing the setbacks from Glenwood Ave and the back of the building, the building will look much larger from our viewpoint from the north. It will also not allow landscaping around the back that would help beautify, soften and blend the new building into the area. It will also make the area less safe for pedestrians especially along Glenwood Ave. The corner of Glenwood and Pennsylvania will need some traffic control and cross walks added as it is already a difficult corner to cross. The increased traffic this development will bring will make walking even less safe than it is currently. Increased traffic will make an already difficult and dangerous exit from The Legacy even riskier.

I also object to the height variance requested. The size of this building will dwarf most buildings in downtown Glen Ellyn. The current zoning height restriction is sufficiently tall. Why do we have a height restriction if we do not enforce it? The townhouses in our development have rooftop balconies that enjoy the views of the village to the south and are a significant part of the enjoyment and value of our units. Allowing a height variance will impinge on those views especially for the six homes on Pennsylvania Ave. It will lower our property values and decrease our enjoyment of our homes. The massive block style (especially if the request to remove the step back requirement above 45 feet is granted)"

Planner Purvis alerted Associate Planner Cole Jackson that 3 minutes had passed.

Lee Marks, 475 Hawthorne: *"The building design for Glenwood Station should be deemed unacceptable. It is the typical 'anywhere USA' design that most every developer submits to a town. Any building designed for Glen Ellyn should be reflective of our historic architecture, which began as Greek Revival, then on to Italianate in the 1880's & 1890's. In addition, the building is too tall for the site. This is a stand-alone building, & if overly large, will stand out like a sore thumb on the McChesney site. I would ask the developer to take a look at the outstanding design of the office building at 486 Duane Street, 2nd building west of Park Blvd. on the north side of Duane. It's an exceptional, contemporary interpretation of American Federal-Period architecture. It's obvious that the developer who erected this building spent time touring Glen Ellyn prior to presenting his project to the Village. In my over 50 years of involvement in historic preservation in Glen Ellyn, this is the only builder who "hit the nail" on the head as far as outstanding architectural design is concerned! I would ask that the developer for Glenwood Station consider meeting with a local architect & some of the preservation people in Glen Ellyn, to get a better handle on what would be appropriate for the McChesney site. The architecture of Glenwood Station doesn't need to be a copy of a specific style, but it must make sense design-wise, so it contributes to Glen Ellyn's historic streetscapes. Local architect, Jamie Simoneit, said he would be happy to meet & discuss various design improvements. With my work in historic preservation, I hear a tremendous number of comments from residents, who have told me that, while they are not opposed to apartments & condos coming to Glen Ellyn, they absolutely do not want Glen Ellyn to become another Arlington Heights or Lombard, where suddenly, our Town Center becomes a canyon, surrounded by overly tall buildings."*

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Lois Walter, 124 Newton Ave.: "How many of the proposed apartments will be designated Affordable?"

Adam Kreuzer, 351 Marion, former chair of the Environmental Commission and a current delegate for the International Dark Sky Association: "Good morning and thank you for the opportunity to comment.

I am concerned about outdoor lighting. As the Village has tried to do with its fixtures on Roosevelt and within CBD, with commercial developments, the Village should address good outdoor lighting design. The proposed projects at McChesney and on Main Street should include light fixtures and bulbs that minimize outdoor light pollution. All fixtures should direct light down, not out and/or up. Bulbs should not be more than 2700K (Kelvin). Brightness levels should be addressed and controlled.

As your local IDA delegate, it would like the opportunity to address these concerns with the Planning Department and the Board. These are simple measures that will not affect price, energy savings or security."

League of Women Voters: "Public Comments for the Glen Ellyn Plan Commission Meeting November 12, 2020. In light of the newly published draft of the Glen Ellyn Comprehensive Plan and the positions held by the League of Women Voters of Glen Ellyn, thank you for the opportunity to provide the following comments:

The League of Women Voters of Glen Ellyn is strongly committed to the act of civic engagement in our community. Based on that important tenet, we are asking the Glen Ellyn Plan Commission to not only evaluate the new Holladay Development, Glenwood Station at the McChesney and Miller location based on the prescribed Village Codes but also whether it meets the present and future housing needs of the Village.

The newly released "Draft of the Comprehensive Plan" speaks to not only opening opportunities for high density development that conform with the surrounding character of buildings but also that it promote attainable housing at a variety of price points to address the financial needs of seniors, young professionals, new families as well as workers in our local retail and service industries.

It is important to provide this Developer and others with the clear message that a variety of price points matter and can be attained in a development through a collaborative effort with the Village.

We include a section of the Village's Draft of its new Comprehensive Plan that speaks clearly to this issue.

Promote mixed income development. To provide for affordable attainable housing as future development occurs, the Village should also consider...promote higher density residential development that provides housing for a variety of income levels. Such mixed-income development allows lower income families to be included within and among higher income residents, rather than concentrating into one area. This is supportive of an inclusive, stable, and diverse community and creates desirable attainable housing options that blend into the Village's urban fabric. Incentives to encourage developers to incorporate a percentage of below market rate, affordable units should be promoted, such as fee waivers, tax abatements, and expedited approval into higher density, mixed-income residential developments.

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Thank you for your consideration,

Kristen B. Malone and Erica Nelson, Co-presidents of the League of Women Voters”

Jamie Simoneit, Z+O Architecture + Interiors, 504 Hillside Ave.: “I am disappointed that what is proposed is basically a carbon copy of what is currently being constructed on Main Street – Another over-sized apartment complex that does not fit into our Village's downtown vernacular. What I find hard to understand is how far this project progressed when it does not comply with the Village's current C5B zoning or come close to what is described in the Villages Comprehensive Plan adopted in 2001.

A quick study of the posted first floor plan reveals a project that denies the public pedestrian level along Crescent Boulevard of any retail spaces or storefronts. The south sun facing facade is 318 feet long but does not provide a single public amenity or business opportunity. The developer is using his 60-foot frontage at the prime intersection of Crescent & Glenwood for the apartment lobby. The remaining 258 linear feet is nothing but a blank wall with two exhaust vents and two 25' wide overhead doors providing access to the parking garage that hides below. The only retail space on the property is north on Glenwood off of the boulevard. The 100 linear feet of this facade is divided between the Building's lobby and a miniscule 55 feet of retail.

How can only 12% of the structure's public facade be dedicated to retail in our downtown central business district be deemed acceptable? That's 428.70 feet total of frontage divided by 55 feet of proposed retail.

Please insist that the developer excavate down another level and relocate the proposed street level parking so that the west end of Crescent Boulevard can become a vibrant extension of our downtown in lieu of a lifeless dead end. As a Business Owner here in town I am pro-development, but I ask that the Village enforce our zoning laws and provide variations that are only minor in nature and make common sense when driven by irregularities and pre-existing non-conforming conditions.

Variations awarded to new construction should be far and few between. As a Glen Ellyn homeowner since 1995 I believe we deserve better.

Please do not slam this through like its predecessor.”

Peggy Udelhofen, 771 Revere Road: “We have been happy residents here for 28 years! I think our town would benefit from this development. The building is attractive and blends well with the existing buildings. Occupants would range from young professionals who need to be near the train to transitioning residents, looking to downsize from their larger Glen Ellyn homes. It will provide additional parking and amenities residents can utilize. Introducing younger residents to our wonderful town and all it has to offer, promotes future home sales as well! Win win Glen Ellyn!”

Chairperson Loch asked about potential issues concerning the uplighting. Mr. Mitchell said he generally shares concerns about light pollution, but loves “to light buildings that are beautiful.” He doesn't think the uplighting in the design is excessive, but if it's a sticking point could look at it. Mr. Walsh added that the nighttime view is as important as the day, and said that the lights, which are “important to give it a glow,” do turn off at a certain time at night.

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It was asked about the project and its impact to affordable housing in Glen Ellyn, related to a couple comments read into the record. Planner Ashbaugh reported that Glen Ellyn is in compliance with the Illinois Affordable Housing Planning and Appeal Act, as the state minimum the Village must provide is 10%, and it is providing 15.9%.

Public Comment Spoken on the Record

Kelli Mildren, 313 Hill Ave., who was sworn in, said she was interested in the development plans and sees the project as a real value added. She stated that she has a strong feeling that it is a good thing for the community, to which, she believes, it could attract young potential homebuyers:

Commissioner Heming-Littwin moved to close the Public Hearing; seconded by Commissioner Mulherin, the motion carried by roll call vote with eight (8) yes votes and zero (0) no votes as follows: Plan Commissioners Heming-Littwin, Mulherin, Brown, Fanella, Rodemann, Saeed and Vondruska and Chairperson Loch voted "yes."

Commissioner Discussion

Commissioner Mulherin stated that he was very much in favor of the project, believing that parking is adequate and that he has no difficulty with the building height. He said the spirit of the height condition is met, and the corner side yard set-back poses no problem. He is fine with the emergency generator equipment and the lot-coverage ratio. He said the project adds a great deal to this challenging site.

Referencing a memo regarding input solicited from the historic community, Planner Ashbaugh suggested the Commission provide thoughts on design elements – such as parapet wall height, lighting enhancement, iron work and possible public art – and which might be incorporated into any conditions of approval. Planner Purvis said that adding detail to the building corners, varying cornice heights, further deviating parapets, and adding intricate detail to cornices might also be considered.

Commissioner Rodemann said that although some of these design ideas had been addressed, he didn't think the roofline will be varied enough to make an impact (though doing so along with varying the profile cornices might). While he acknowledged that the steps the Petitioner has taken have made for quite an improvement to the building design previously presented and is moving in the right direction, he still feels the building is too big for the site. The concept is for a massive building for the size of site, he continued, saying that while the Petitioner had improved the concept considerably, allaying concerns he had about the pedestrian experience, he thinks the retail space component is lacking and that he is still uneasy about the building's bulk.

Commissioner Fanella said she like the way the project has turned out, and that it has a "city feel" she admires. She is in favor of the 15-minute parking designation for pickups/drop-offs, and sees the project as contributing to the goal of adding new residential units to the downtown. She is comfortable with the conditions for the plan.

Commissioner Vondruska conveyed that these projects are difficult, and recognized the challenge of this property (though thought the low site is an advantage when considering building height). He touched on the balance needed to retain the Village's feel and grow it economically. He said he appreciates the efforts to accommodate input and incorporate some of the Village's character into the design, and that overall

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he is in support of the project, though sees the retail end of it is as “tough,” pointing to parking challenges. Softening the Crescent side “would be great,” he said, mentioning adding historical elements.

Commissioner Heming-Littwin concurred that the developer’s response to input is appreciated, recalled discussion about the need for these types of units in Glen Ellyn, and said that developing the site would increase tax revenue. She responded to one of the comments that suggested further reducing the overall height by going a second level below ground so the entire first floor could also be more retail space, and that has shown to be not desirable and poses construction difficulties—which then limits the retail piece. She further commented, though she thinks a high-end deli or bakery at the site would be a way to bring people into the location. She said she likes colors, window treatments and iron elements presented. While she would favor more detail on the Crescent side, she cautioned that murals need upkeep. Commissioner Heming-Littwin remarked that she is okay with the lighting, thinks the widened sidewalk along Crescent will be helpful, and endorses the recommendation of more detail at the roofline. She is disinclined to dictate that historic light fixtures be incorporated into the design.

Commissioner Saeed stated that he is in support of the project as it meets the intent of the Comprehensive Plan, though he thinks the commercial space is inadequate. He did express a concern about commercial parking, anticipating difficulties for customers with no parking on Glenwood. Despite the long appearance of the building on Crescent, he complimented the architect’s and developer’s work.

Also voicing support for the project, Commissioner Brown acknowledged the work that had been done since May to further develop the design. She thought the north-side alterations and the Crescent-side step-back added appeal to the project, which she believes offers options for residents looking to downsize and young newcomers exploring the suburbs.

Commissioner Loch praised the 10-foot building step-back from the second floor up along Crescent, and expressed enthusiasm about the aforementioned idea of naming a deli in the building after the McChesney grocery concern. She thanked the Petitioner for the work invested in the proposal, specifically the willingness to work with the historic preservation group, and stated that she supports the project.

Commissioner Mulherin complimented the Staff on their work. And, after some discussion about language concerning incorporating input from the Historic Society and Historic Preservation Commission, Commissioner Heming-Littwin moved for the following:

Commission Action

After conducting a public hearing and deliberating on the requests of the petitioner, Michael O’Connor, Vice President of Development & Leasing for Holladay Properties, for approval of a Special Use for a Preliminary and Final Planned Unit Development with zoning deviations, a Special Use to allow Multi-Family Dwellings and Exterior Appearance, all to allow the construction of a 5-story, mixed use building with ground floor commercial space, apartments, and an enclosed parking garage on the property located at 460 Crescent Boulevard in the C5B Central Service Subdistrict, the Plan Commission hereby recommends approval based on the findings of fact, as discussed at the Plan Commission public hearing on November 12, 2020, and a copy of which will be attached to the minutes of the meeting and kept on file as part of the permanent records of the Village. The Plan Commission makes this recommendation of approval with the following conditions:

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1. That the petitioner construct, maintain, and operate the development in substantial conformance with the plans and testimony presented at the Plan Commission public hearing and before the Village Board of Trustees;
2. That the petitioner shall install, maintain, and replace all landscape material per the approved landscape plan;
3. That the petitioner prepare a construction management plan for review at a pre-construction meeting with the Police, Fire, Public Works, and Community Development Departments and that said Village staff approve the construction management plan before the issuance of a building permit;
4. That a proposed drop-off/pick-up recessed curb area at the northwest corner of the Crescent-Glenwood intersection, should it remain and be incorporated into the Village Board approved downtown streetscape improvement plan, be signed with a time limit of 15 minutes;
5. That the petitioner shall comply with the downtown streetscape improvement plan adopted by the Village Board for the Glenwood Avenue and Crescent Boulevard rights-of-way and coordinate with Public Works on the installation of the materials;
6. That any outdoor café seating obtain a license agreement with the Village annually before seating is installed and used;
7. That the petitioner coordinate with Public Works to install a new bike rack consistent with downtown streetscape furniture in an appropriate location;
8. That sheets A-101 and A-102, prepared by Tandem Architecture, Inc., dated 11/5/2020, which propose a total of 104 parking stalls, be modified as required by the 2018 Illinois Accessibility Code and Section 10-5-13(I) of the Glen Ellyn Zoning Code, to provide that no less than 102 parking stalls prior to building permit issuance;
9. That all visible rooftop mechanical units be screened with a height not to exceed that of the overall maximum height deviation granted;
10. That all proposed improvements to the public right-of-way be subject to change per the pending downtown central business district streetscape improvement, per Village Board approval;
11. That the petitioner secure all required temporary construction and perpetual easements on private property before the issuance of any building permits;
12. That the petitioner work with staff to incorporate some additional design detail into the building as recommended by the Historic Preservation Commission and the Glen Ellyn Historical Society per the memo addressed to the petitioner dated October 21, 2020, which might include adding details to the building corners, varying the roofline by increasing the cornice heights, incorporating public art and historic light fixtures; any such changes should be incorporated prior to Village Board review of the project;
13. That the petitioner pay a total of \$171,205.64 in developer donations for dispersal to the Glen Ellyn Park District, School District 41, School District 87, the Glen Ellyn Library, and the Glen Ellyn Volunteer Fire Company before the issuance of any construction building permits; and

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14. That all floor plans, elevations, and other architectural plans be consistent with one another to the satisfaction of the Building & Zoning Official prior to the issuance of any building permits.

Seconded by Commissioner Saeed, the motion carried by roll call vote with seven (7) yes votes and one (1) no vote as follows: Plan Commissioners Heming-Littwin, Saeed, Brown, Fanella, Mulherin and Vondruska and Chairperson Loch voted "yes." Plan Commissioner Rodemann voted "no."

Planner Ashbaugh said she expects the project proposal to go before the Village Board on December 14.

Trustee's Report

Village Trustee Enright remarked that the evening's meeting had been interesting. He reported that the Village Board has been focused on the budget, which is running about \$65 million for this year. This figure, he stated, is less than last year's \$77 million, and is mostly due to building the parking garage. The final reading will be December 14. Also a topic of attention has been the McKee House, and whether donations can be garnered for remodeling it.

Chairman's Report

Chairperson Loch offered a reminder of the upcoming Civic Betterment Party elections for candidates for community posts. She said that she felt the voting environment set up was safe, but that two drive-through locations have also been established for voting. In light of the Covid19 situation, she advised everyone to be safe, thinking a "real test" is happening.

Staff Report

Planner Ashbaugh related that Mortenson, the design-build firm constructing the Village Parking Garage, submitted final plans and an amendment concerning some utilities, and to expect discussion of the project at the December 17 meeting.

Planner Purvis reported that new sample streetscape materials had been installed at the corner of Crescent and Main, with scanner-enabled voting to elicit public preference. She also said that the full Comprehensive Draft Plan was received from the consultant and has been posted on the Village website. The Draft Plan is to be presented at a November 18 open house in the Village Hall gymnasium, followed by a Zoom presentation the next evening. The Draft Plan is tentatively scheduled for Public Hearing at the December 10 Plan Commission meeting. A December 7 Board workshop is to discuss recreational cannabis vending.

Development Director Springer complimented Planners Ashbaugh on her work relative to tonight's Public Hearing. Director Springer also announced that Planner Purvis has been promoted to the position of Planning Manager. Plan Commissioners applauded Planning Manager Purvis' achievement.

Other Business

None.

Adjournment

Following a motion to adjourn by Commissioner Heming-Littwin, Chairperson Loch concluded the meeting at 10:25 p.m.

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Plan Commission Meeting Minutes – DRAFT
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Respectfully submitted,

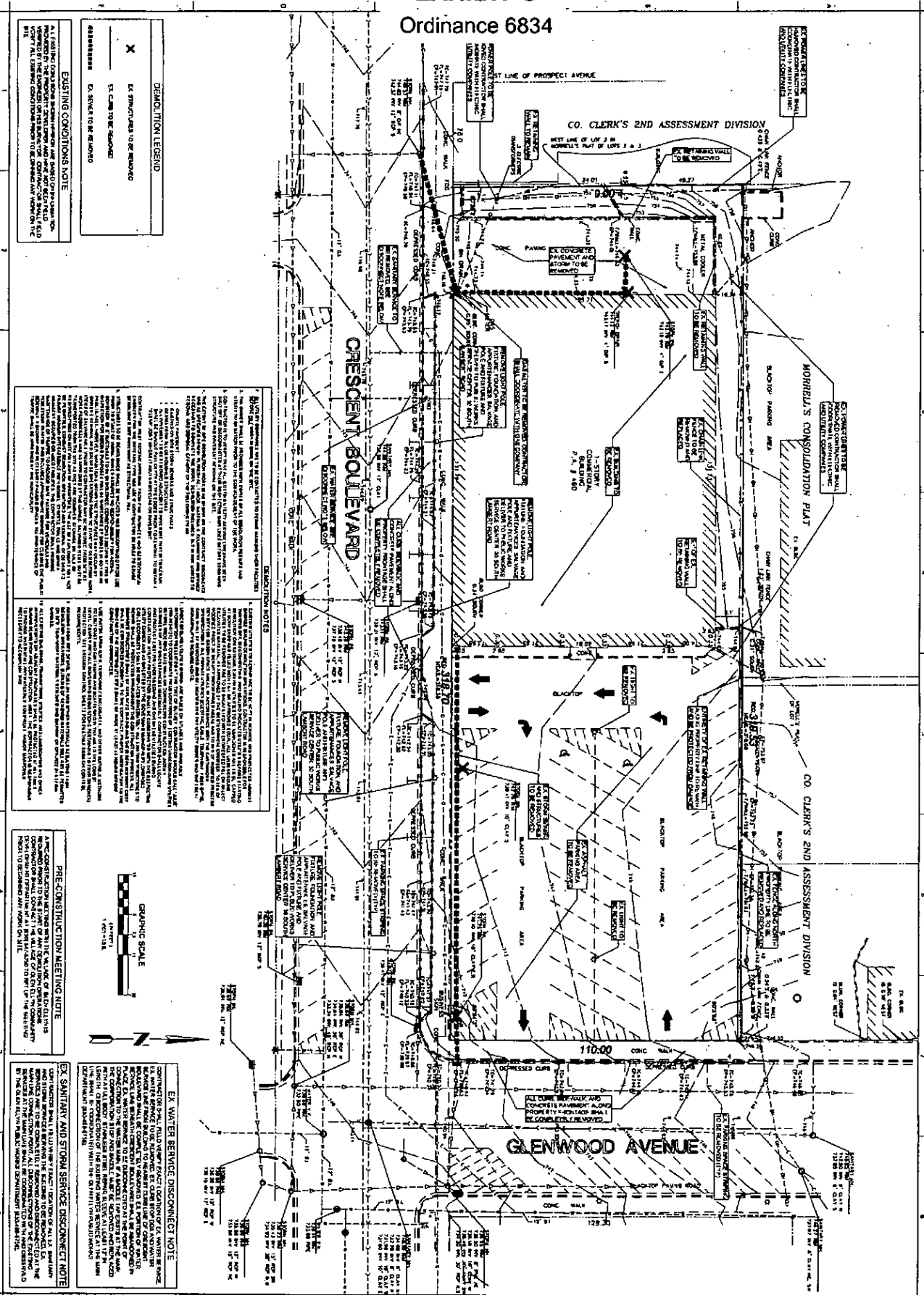
Barbara Dutton
Recording Secretary

Reviewed by,

Katie Ashbaugh, AICP
Planner

EXHIBIT C

Ordinance 6834



DEMOLITION LEGEND

X STRUCTURES TO BE DEMOLISHED

CS CLAMP TO BE REMOVED

CS STAKE TO BE REMOVED

EXISTING CONDITIONS NOTE

ALL EXISTING CONDITIONS SHOWN ARE BASED UPON THE INFORMATION PROVIDED BY THE PROPERTY OWNER AND THE CONTRACTOR. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS TO BE DEMOLISHED AND REPORT ON THE SITE.

GENERAL NOTES

1. ALL EXISTING UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO DEMOLITION.
2. ALL EXISTING UTILITIES SHALL BE DELETED AND REMOVED PRIOR TO DEMOLITION.
3. ALL EXISTING UTILITIES SHALL BE DELETED AND REMOVED PRIOR TO DEMOLITION.
4. ALL EXISTING UTILITIES SHALL BE DELETED AND REMOVED PRIOR TO DEMOLITION.
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8. ALL EXISTING UTILITIES SHALL BE DELETED AND REMOVED PRIOR TO DEMOLITION.
9. ALL EXISTING UTILITIES SHALL BE DELETED AND REMOVED PRIOR TO DEMOLITION.
10. ALL EXISTING UTILITIES SHALL BE DELETED AND REMOVED PRIOR TO DEMOLITION.

PRE-CONSTRUCTION MEETING NOTE

A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF GLEN ELLYN PRIOR TO THE START OF ANY DEMOLITION OPERATIONS. THE MEETING SHALL BE ATTENDED BY THE CONTRACTOR, THE CITY ENGINEER, AND THE CITY PLANNING DEPARTMENT. THE MEETING SHALL DISCUSS THE DEMOLITION PLAN, THE DEMOLITION SCHEDULE, AND THE DEMOLITION METHODS. THE MEETING SHALL BE HELD AT THE CITY OF GLEN ELLYN, 111 WEST WASHINGTON STREET, GLEN ELLYN, IL 60137.

EX. WATER SERVICE DISCONNECT NOTE

THE CONTRACTOR SHALL DISCONNECT ALL EXISTING WATER SERVICES PRIOR TO DEMOLITION. THE DISCONNECT SHALL BE PERFORMED BY A LICENSED PLUMBER. THE DISCONNECT SHALL BE PERFORMED PRIOR TO THE START OF ANY DEMOLITION OPERATIONS. THE DISCONNECT SHALL BE PERFORMED AT THE CITY OF GLEN ELLYN, 111 WEST WASHINGTON STREET, GLEN ELLYN, IL 60137.

EX. SANITARY AND STORM SERVICE DISCONNECT NOTE

THE CONTRACTOR SHALL DISCONNECT ALL EXISTING SANITARY AND STORM SERVICES PRIOR TO DEMOLITION. THE DISCONNECT SHALL BE PERFORMED BY A LICENSED PLUMBER. THE DISCONNECT SHALL BE PERFORMED PRIOR TO THE START OF ANY DEMOLITION OPERATIONS. THE DISCONNECT SHALL BE PERFORMED AT THE CITY OF GLEN ELLYN, 111 WEST WASHINGTON STREET, GLEN ELLYN, IL 60137.

GRAPHIC SCALE

1" = 10'

SITE DEMOLITION PLAN

GLENWOOD STATION

460 CRESCENT BOULEVARD, GLEN ELLYN, IL 60137

SHEET NO. 2.1

CivWORKS Consulting, LLC

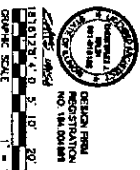
CIVIL ENGINEERS - PLANNERS - DEVELOPMENT CONSULTANTS

2313 N. NORTON AVENUE
CHICAGO, ILLINOIS 60647
TEL: 773.452.4200
WWW.CIVWORKS.COM

| NO. | DATE | REVISION |
|-----|---------|----------------------------|
| 1 | 1-14-20 | REVISED PER RELEASE REVIEW |
| 2 | 1-14-20 | REVISED PER RELEASE REVIEW |
| 3 | 1-14-20 | REVISED PER RELEASE REVIEW |
| 4 | 1-14-20 | REVISED PER RELEASE REVIEW |

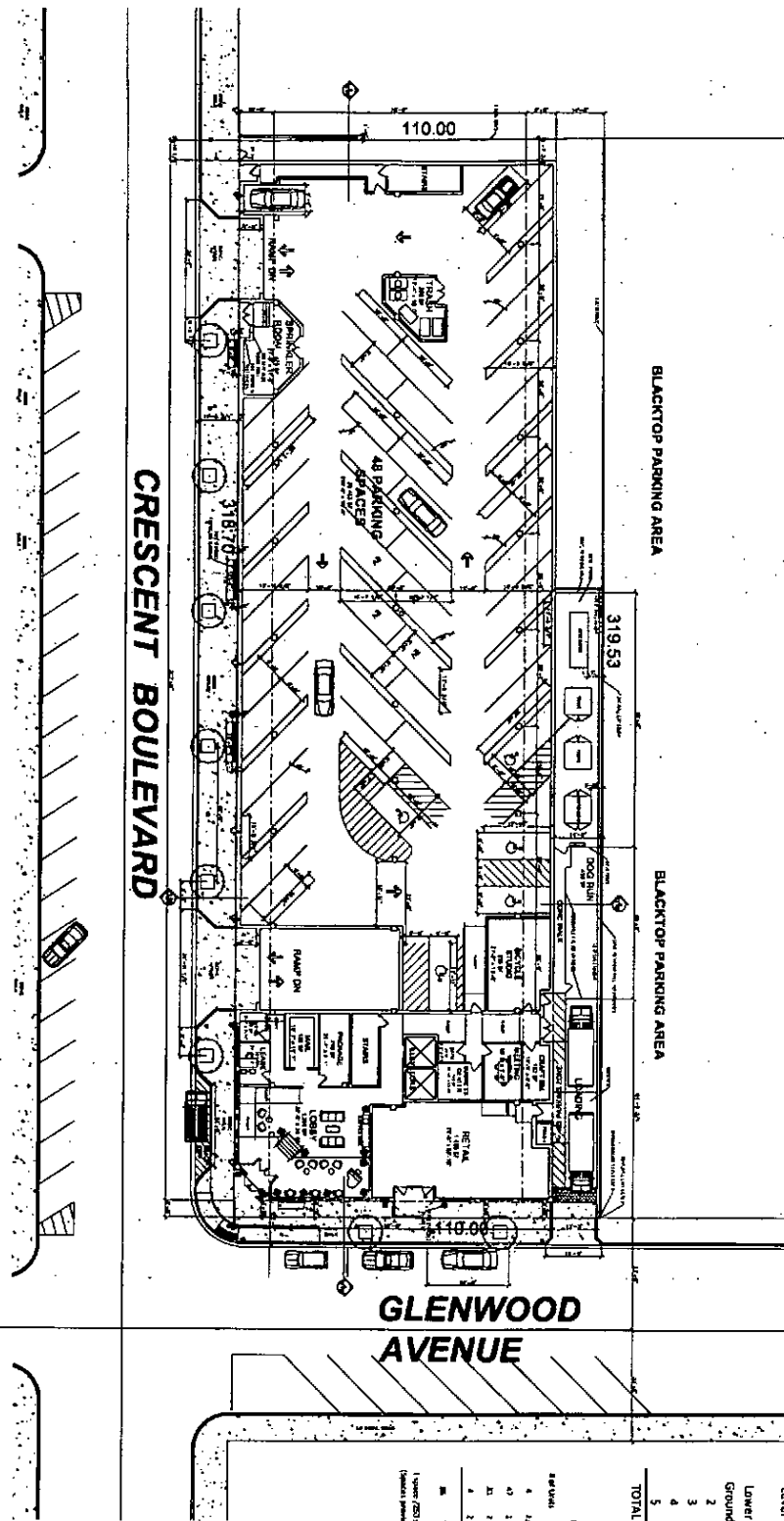
EXHIBIT D
Ordinance 6834

11/22/2008
TANDEM
ARCHITECTURE



GLENNWOOD
STATION

**MAIN PARKING / STREET LEVEL
PLANNED UNIT DEVELOPMENT PLAN**



COMPACT CAR SECTION



Notes: 1. All dimensions are in feet and inches. 2. All dimensions are to the centerline of the building. 3. All dimensions are to the centerline of the parking space. 4. All dimensions are to the centerline of the street. 5. All dimensions are to the centerline of the sidewalk.

| | |
|---------------------|---|
| Site Area | 35,065.51 / 800,000 sq ft |
| Main Building | 1,464,827 sq ft |
| Building Height | 5 stories + 1 live below grade / 66'-8" |
| Dwelling Units | 88 units |
| Retail | 1,460 sq ft |
| Residential Parking | 104 spaces |

| Site Data | |
|---------------------|---|
| Site | 35,065.51 / 800,000 sq ft |
| Main Building | 1,464,827 sq ft |
| Building Height | 5 stories + 1 live below grade / 66'-8" |
| Dwelling Units | 88 units |
| Retail | 1,460 sq ft |
| Residential Parking | 104 spaces |

Building Square Footage

| Level | Total Square Footage Per Floor | Leasable Square Footage |
|--------------|--------------------------------|-------------------------|
| Lower | 35,393 | 0 |
| Ground | 28,889 | 1,525 |
| 2 | 22,885 | 18,223 |
| 3 | 22,520 | 20,120 |
| 4 | 22,520 | 20,120 |
| 5 | 22,520 | 20,120 |
| TOTAL | 144,827 | 80,108 |

Residential Building Per Code

| Code | Unit Type | Area (sq ft) | Height (ft) | Max # of Units |
|--------------|--------------|--------------|-------------|----------------|
| 1 | 1-Bedroom | 1,124 | 71 | 4 |
| 2 | 2-Bedroom | 1,124 | 71 | 4 |
| 3 | 3-Bedroom | 1,124 | 71 | 4 |
| 4 | 4-Bedroom | 1,124 | 71 | 4 |
| TOTAL | 4-BED | 4,496 | 284 | 16 |

Notes: 1. Based on 2007 City of Miami Code, Section 12-2(2)(b) - 4.1. 2. Maximum residential development is 12 units per acre. 3. Total Code Book Maximum is 16 units per acre.

A-102
REVISION SHEET
2/20/11/08

HOLLADAY
PROPERTIES
Building Stations Since 1932

Ordinance 6834

| |
|-------|
| Notes |
| Type |

FEATURES & SPECIFICATIONS

INTENDED USE — The OLCFM provides years of maintenance-free general illumination for residential and commercial outdoor applications such as porches, covered walkways and store entrances.

CONSTRUCTION — Rugged cast-aluminum top-plate and outer-ring are protected by a thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

Polycarbonate LED lens/cover protects LEDs.

Fixture weight = 2.98 lbs.

OPTICS — 96 high-performance LEDs produces up to 1077 lumens and maintain 70% of light output at 50,000 hours of service.

(LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)

White acrylic diffuser provides a soft white light at 4000K CCT

See Lighting Facts Labels for specific fixture performance.

ELECTRICAL — Fixture operates at 120 volts, 60 Hz.

Standard input = 16.6 watts

Operating temperature -40°C to 40°C.

Amps @ 120V = .131.

Surge protection = 2.5kV.

INSTALLATION — Mounts easily to existing junction box (by others).

LISTINGS — UL Listed to U.S. and Canadian safety standards for wet locations.

Designed for ceiling or wall mounting more than 4' above the ground.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

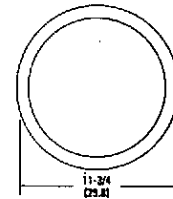
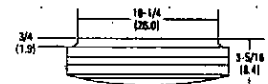
Note: Specifications subject to change without notice.



Outdoor General Purpose

OLCFM

OUTDOOR LED CAST FLUSH MOUNT



All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

All configurations of this product are considered "standard" and have short lead times.

Example: OLCFM 15 DDB

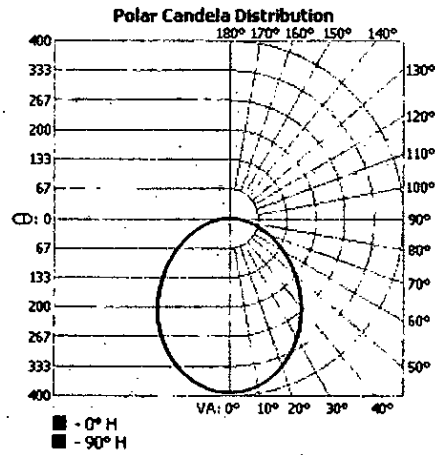
| Order Code | Light Output (lm) | Color Temperature (KCT) | Voltage | Finish |
|------------|-------------------|-------------------------|--------------|-----------------------------|
| OLCFM | 15 | (blank) 4000K | (blank) 120V | DDB Dark bronze WH White |

Notes

1 Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.

PHOTOMETRIC DIAGRAMS

To see complete photometric reports or download .ies files for this product, visit www.Lithonia.com. Tested in accordance with IESNA LM679 and LM680 standards.



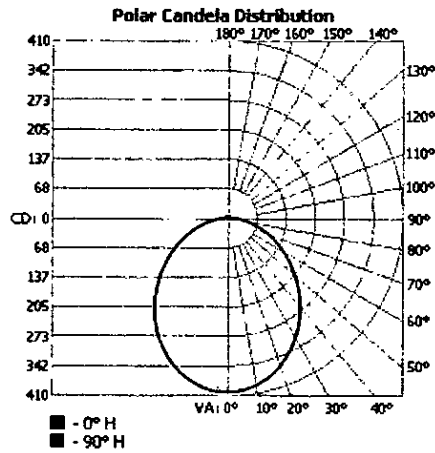
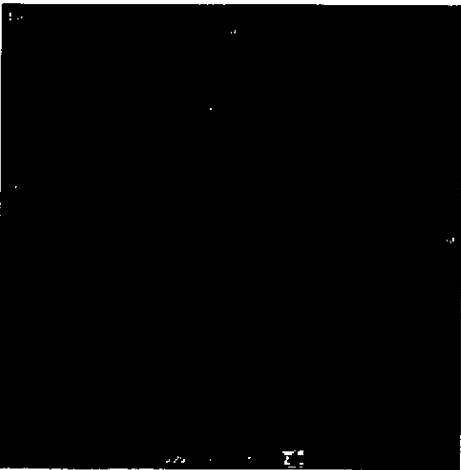
LED Lighting Facts
A Program of the U.S. DOE

Light Output (Lumens) 1029
Watts 16.6
Color Accuracy (CRI) 91
Light Color 3995 (Bright White)

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test date and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: NLS11 XPC08P 09/2013
Model Number: OLCFM 15 WH
Type Luminaire: Area/Passive



LED Lighting Facts
A Program of the U.S. DOE

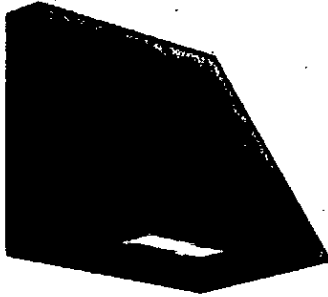
Light Output (Lumens) 1077
Watts 16.6
Color Accuracy (CRI) 91
Light Color 3969 (Bright White)

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test date and results.

Visit www.lightingfacts.com for the Label Reference Guide.

Registration Number: NLS11 6QV7L 04/2013
Model Number: OLCFM 15 WH
Type Luminaire: Area/Passive

WDGE1 LED
Architectural Wall Sconce



Catalog Number _____

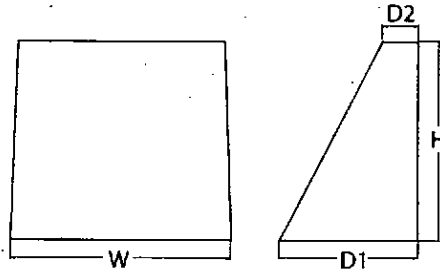
Notes _____

Type _____

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 5.5"
- Depth (D2):** 1.5"
- Height:** 8"
- Width:** 9"
- Weight:** 9 lbs
(without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE LED Family Overview

| Luminaire | Standard LED Package | Color Temperature | CRI | Lumens @ 4000K | | | | | |
|-----------|----------------------|-------------------|---------------------|----------------|--------|--------|--------|--------|--------|
| | | | | P1 | P2 | P3 | P4 | P5 | P6 |
| WDGE1 LED | 4W | — | — | 1,200 | 2,000 | — | — | — | — |
| WDGE2 LED | 10W | 18W | Standalone / nLight | 1,200 | 2,000 | 3,000 | 4,500 | 6,000 | — |
| WDGE3 LED | 15W | 18W | Standalone / nLight | 7,500 | 8,500 | 10,000 | 12,000 | — | — |
| WDGE4 LED | — | — | Standalone / nLight | 12,000 | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 |

Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

| Series | Package | Color Temperature | CRI | Beam Spread | Voltage | Mounting |
|-----------|----------|------------------------|-------|---------------------------------|---------------------------|--|
| WDGE1 LED | P1 P2 | 27K 2700K | 80CRI | VF Visual comfort forward throw | MVOLT 347 ² | Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box PBBW Premium surface-mounted back box (top, left, right conduit entry) |
| | | 30K 3000K | 90CRI | VW Visual comfort wide | | |
| | | 35K 3500K | | | | |
| | | 40K 4000K | | | | |
| | | 50K ¹ 5000K | | | | |

| Options | Finish |
|---|----------------------------------|
| E4WH ¹ Emergency battery backup, CEC compliant (4W, 0°C min) | DDBXD Dark bronze |
| PE ⁴ Photocell, Button Type | DBLXD Black |
| DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) | DNAXD Natural aluminum |
| DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) | DWHXD White |
| BCE Bottom conduit entry for premium back box (PBBW). Total of 4 entry points. | DSSXD Sandstone |
| | DDBTXD Textured dark bronze |
| | DBLTXD Textured black |
| | DNATXD Textured natural aluminum |
| | DWHGXD Textured white |
| | DSSTXD Textured sandstone |

Accessories

- WDGEAWS DDBXD U WDGE 3/8inch Architectural Wall Spacer (specify finish)
- WDGE1PBBW DDBXD U WDGE1 Premium surface-mounted back box (specify finish)
- WSBBW DDBXD U Surface-mounted back box (specify finish)

NOTES

- 1 50K not available in 90CRI.
- 2 347V not available with E4WH, DS or PE.
- 3 E4WH not available with PE or DS.
- 4 PE not available with DS.
- 5 Not qualified for DLC. Not available with E4WH.



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WDGE1 LED
Rev. 04/15/20

EXHIBIT I

Ordinance 6834

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Performance Package | System Watts | Dist. Type | 27K 2700K 80 CRI | | | | | 30K 3000K 80 CRI | | | | | 35K 3500K 80 CRI | | | | | 40K 4000K 80 CRI | | | | | 50K 5000K 80 CRI | | | | |
|---------------------|--------------|------------|------------------|-----|---|---|---|------------------|-----|---|---|---|------------------|-----|---|---|---|------------------|-----|---|---|---|------------------|-----|---|---|---|
| | | | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G |
| P1 | 10W | VF | 1,120 | 112 | 0 | 0 | 0 | 1,161 | 116 | 0 | 0 | 0 | 1,194 | 119 | 0 | 0 | 0 | 1,227 | 123 | 0 | 0 | 0 | 1,235 | 123 | 0 | 0 | 0 |
| | | VW | 1,122 | 112 | 0 | 0 | 0 | 1,163 | 116 | 0 | 0 | 0 | 1,196 | 120 | 0 | 0 | 0 | 1,229 | 123 | 0 | 0 | 0 | 1,237 | 124 | 0 | 0 | 0 |
| P2 | 15W | VF | 1,806 | 120 | 1 | 0 | 0 | 1,872 | 125 | 1 | 0 | 0 | 1,925 | 128 | 1 | 0 | 0 | 1,978 | 132 | 1 | 0 | 0 | 1,992 | 133 | 1 | 0 | 0 |
| | | VW | 1,809 | 120 | 1 | 0 | 0 | 1,876 | 125 | 1 | 0 | 0 | 1,929 | 128 | 1 | 0 | 0 | 1,982 | 132 | 1 | 0 | 0 | 1,996 | 133 | 1 | 0 | 0 |

Electrical Load

| Performance Package | System Watts | Current (A) | | | | |
|---------------------|--------------|-------------|-------|-------|-------|-------|
| | | 120V | 208V | 240V | 277V | 347V |
| P1 | 10W | 0.082 | 0.049 | 0.043 | 0.038 | - |
| | 13W | - | - | - | - | 0.046 |
| P2 | 15W | 0.132 | 0.081 | 0.072 | 0.064 | - |
| | 18W | - | - | - | - | 0.056 |

Lumen Multiplier for 90CRI

| CCT | Multiplier |
|-----|------------|
| 27K | 0.845 |
| 30K | 0.867 |
| 35K | 0.845 |
| 40K | 0.885 |
| 50K | 0.898 |

Lumen Output in Emergency Mode (4000K, 80 CRI)

| Option | Dist Type | Lumens |
|--------|-----------|--------|
| E4WH | VF | 646 |
| | VW | 647 |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | Lumen Multiplier |
|--------------|------------------|
| 0°C / 32°F | 1.03 |
| 10°C / 50°F | 1.02 |
| 20°C / 68°F | 1.01 |
| 25°C / 77°F | 1.00 |
| 30°C / 86°F | 0.99 |
| 40°C / 104°F | 0.98 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | >0.96 | >0.95 | >0.91 |



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WDGE1 LED
Rev. 04/15/20

EXHIBIT 1 Ordinance 6834

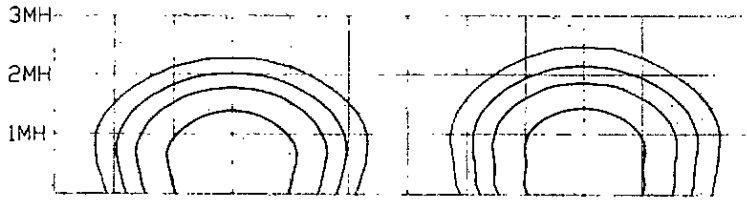
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND



MH = 8ft
Grid = 8ft x 8ft



WDGE1 LED P2 40K 80CRI VW

WDGE1 LED P2 40K 80CRI VF

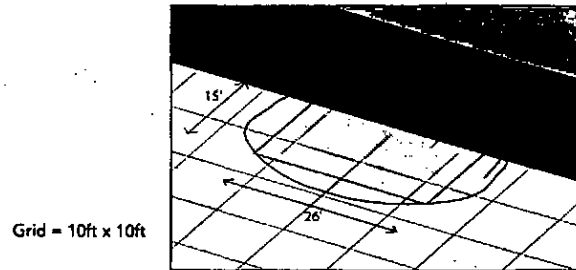
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90 minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.



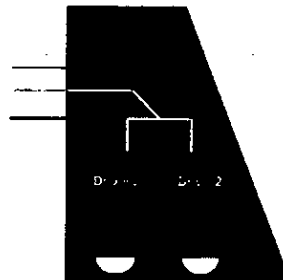
Grid = 10ft x 10ft

WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

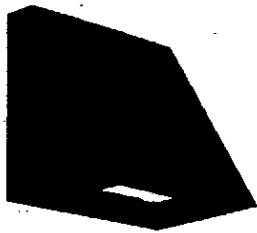


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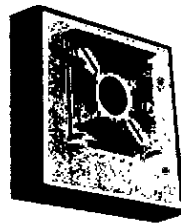
WDGE1 LED
Rev. 04/15/20

Mounting, Options & Accessories



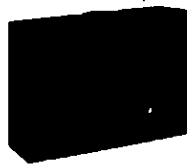
E4WH – 4W Emergency Battery Backup

D = 5.5"
H = 8"
W = 9"



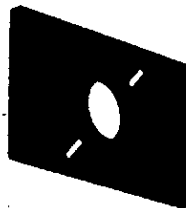
PBBW – Premium Back Box

D = 1.75"
H = 8"
W = 9"



BBW – Standard Back Box

D = 1.5"
H = 4"
W = 5.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
H = 4.4"
W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WEDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WEDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/OPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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WEDGE1 LED
Rev. 04/15/20

Wall luminaires for light in two directions

Housing: One Piece, die cast aluminum housing with a one piece, die cast aluminum mounting plate. The mounting plate is supplied with a flat plate that mounts directly to a standard, recessed 4" octagonal wiring box. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Enclosure: Clear tempered glass diffusers, the top diffuser with a machined step to provide a flush finish with the cast housing. Two reflectors provided are anodized aluminum. Housing is secured to the mounting plate with a single, mechanically captive, stainless steel set screw.

Electrical: 33.0W LED luminaire, 38.4 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

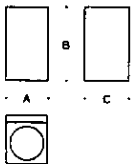
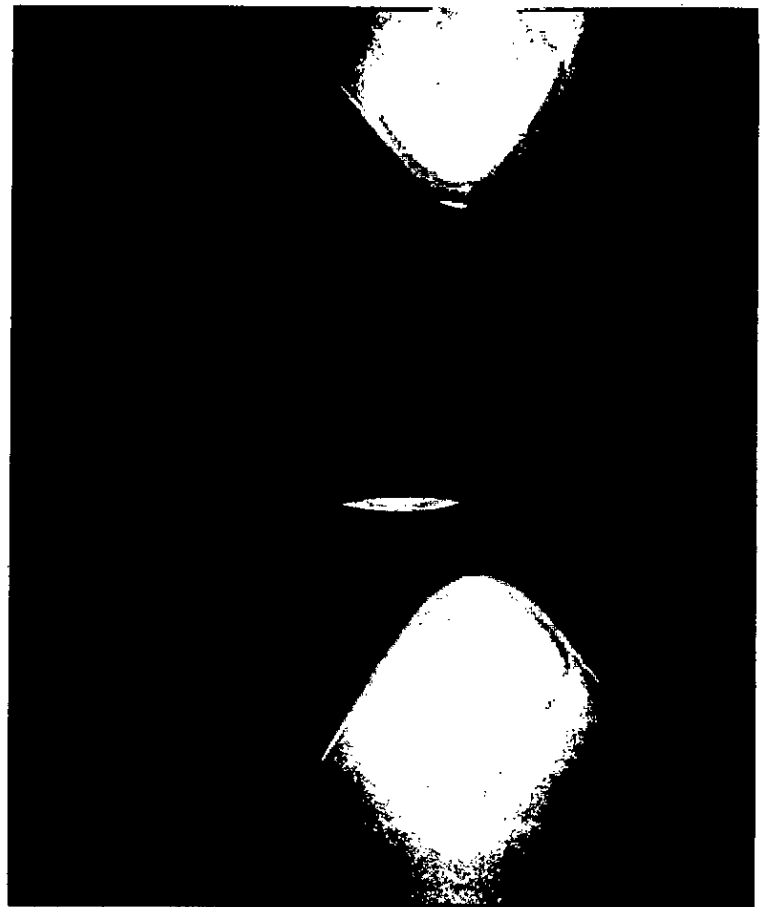
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards for wet locations. Protection class IP64

Weight: 7.3 lbs.

Luminaire Lumens: 3031

Type: **BEGA Wall Luminaire**
BEGA Product: **24 593**
Project:
Voltage:
Color: **Black**
Options:
Modified:



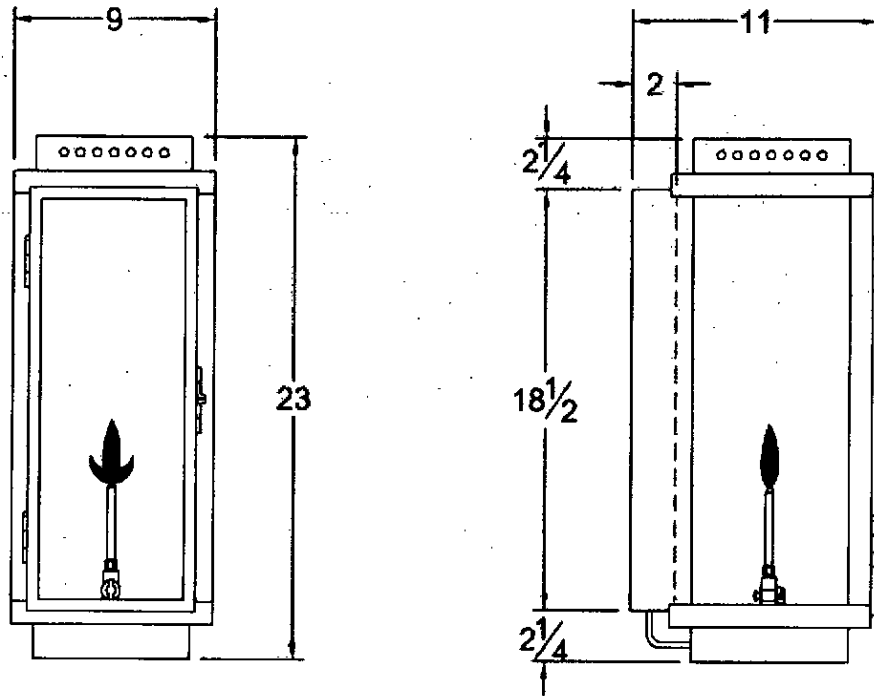
| | Lamp | β | A | B | C |
|--------|-----------|---------|----|-----|--------|
| 24 593 | 33.0W LED | 18° | 5% | 10% | 6 1/4" |

EXHIBIT I
Ordinance 6834

Light Fixture 16
(on Sheet A-200)

SAN MARCO - GAS LANTERN - CUSTOM MADE, TO ORDER

DIMENSIONS: 9" W x 23" H x 11" D
NATURAL GAS OPERATION
ELECTRONIC IGNITION
OFFSET WALL BOX
CONSTRUCTION: SOLID COPPER & TRANSPARENT GLASS
FINISH: BLACK HEAT-RESISTANT PAINT



LINE DRAWING

_____ APPROVED
_____ RESUBMIT W/ CHANGES

YOUR INITIALS

DATE

gaslanternsandlights.com
Sheryl Stringer
sherylstringer@me.com

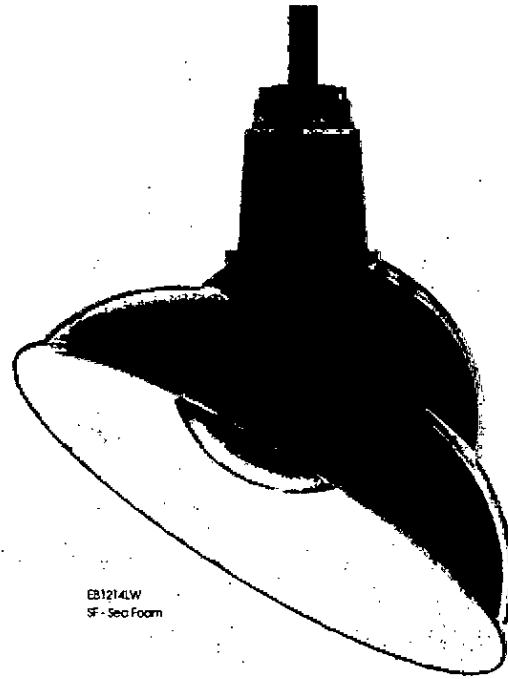
EXHIBIT I
Ordinance 6834

Light Fixture H



EMBLEM SIGN
WET LOCATION
EXTERIOR - SIGN LIGHTS

PROJECT: _____
TYPE: _____



EB1214LW
SF - Sea Foam



EB1214LW
PL - Purple



EB1214LW
PT - Platinum Silver



EB1214LW
RD - Red Baron

| SERIES | LUMENS ¹ | CCT | DRIVER / DIMMING ² | ACCESSORIES ⁵ | MOUNTING ⁷ | FINISH ¹⁴ | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|------------------------|----------------------------|--|--|--|---|----------------------|--|--------------------|---------------------|--------------------|---------------------|---------|---------------------|-----------------|--------------------|---------------|--|------|---------------------|------|---------------------|---------------------|---------------------|------------------------|---------------|--------------------|----------------------------|------|--------------|------|--------------------------|--|------------------|-------------|------------------|-------------|------------------|-----------------|----|--------------|
| EB0910LW EB1214LW | 15L 1600 Lm 27L 2700 Lm | 27K 2700K 30K 3000K 35K 3500K 40K 4000K | EX: Electronic Driver, 120V/277V. DS10X: 10%, 0-10V, 120V/277V DO10X: 1%, 0-10V, 120V/277V DS2W1: ELV/MLV, 120V DLTE1 ⁴ : Lutron® 2-Wire Forward Phase (MLV), 120V DL3EX ⁴ : 1% Lutron® EcoSystem®, Fades to Black, 120V/277V | TF1 ⁴ : 3" Frosted Dome TG1: 3" Dome Wire Guard MF1: 3" Frosted Mini MG1: 3" Short Wire Guard FJ1: 3" Frosted Tall FG1: 3" Tall Wire Guard | <table border="1"> <tr> <th colspan="2">WALL MOUNT</th> </tr> <tr> <td>CP104⁸</td> <td>Small Driver Canopy</td> </tr> <tr> <td>CP104⁸</td> <td>Large Driver Canopy</td> </tr> <tr> <td>CP6/RMD</td> <td>Remote Mount Driver</td> </tr> <tr> <td>PA⁹</td> <td>Mounting Arm Style</td> </tr> <tr> <th colspan="2">CEILING MOUNT</th> </tr> <tr> <td>RDC6</td> <td>Small Driver Canopy</td> </tr> <tr> <td>CP13</td> <td>Large Driver Canopy</td> </tr> <tr> <td>PM^{10/11}</td> <td>Rigid Pendant Mount</td> </tr> <tr> <td>HM^{10/11/12}</td> <td>Hang Straight</td> </tr> <tr> <td>EMCR¹³</td> <td>10W Large Driver Canopy EM</td> </tr> <tr> <td>EMRM</td> <td>7W Remote EM</td> </tr> <tr> <td>EMEN</td> <td>7W Remote with Enclosure</td> </tr> </table> | WALL MOUNT | | CP104 ⁸ | Small Driver Canopy | CP104 ⁸ | Large Driver Canopy | CP6/RMD | Remote Mount Driver | PA ⁹ | Mounting Arm Style | CEILING MOUNT | | RDC6 | Small Driver Canopy | CP13 | Large Driver Canopy | PM ^{10/11} | Rigid Pendant Mount | HM ^{10/11/12} | Hang Straight | EMCR ¹³ | 10W Large Driver Canopy EM | EMRM | 7W Remote EM | EMEN | 7W Remote with Enclosure | <table border="1"> <tr> <td>MW¹⁵</td> <td>Matte White</td> </tr> <tr> <td>MB¹⁵</td> <td>Matte Black</td> </tr> <tr> <td>PT¹⁵</td> <td>Platinum Silver</td> </tr> <tr> <td>CC</td> <td>Custom Color</td> </tr> </table> <p>See Page 5 for Full Range of Color Options (83-90085)</p> | MW ¹⁵ | Matte White | MB ¹⁵ | Matte Black | PT ¹⁵ | Platinum Silver | CC | Custom Color |
| WALL MOUNT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CP104 ⁸ | Small Driver Canopy | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CP104 ⁸ | Large Driver Canopy | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CP6/RMD | Remote Mount Driver | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PA ⁹ | Mounting Arm Style | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CEILING MOUNT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RDC6 | Small Driver Canopy | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CP13 | Large Driver Canopy | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PM ^{10/11} | Rigid Pendant Mount | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| HM ^{10/11/12} | Hang Straight | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EMCR ¹³ | 10W Large Driver Canopy EM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EMRM | 7W Remote EM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EMEN | 7W Remote with Enclosure | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MW ¹⁵ | Matte White | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MB ¹⁵ | Matte Black | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PT ¹⁵ | Platinum Silver | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CC | Custom Color | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

EXAMPLE: EB1214LW15L35KEXFJ1/CP104PA36BL

NOTES:

- 1 Nominal Source Lumens at 35K 2 Contact Factory for Additional Options 3 Available with CP104/RDC6/CP13 Only 4 Available with CP104/CP13 Only
- 5 See Enclosures & Guards Page for Wire Guards and Additional Options 6 Standard Enclosure 7 See Mounting Page for Details on Components and Finishes
- 8 Contact Factory for Knock Out Holes 9 See Mounting Page for Available Arm Options 10 Specify Length in Inches. See Mounting Page for Available Lengths
- 11 Intended for Outdoor Covered Ceiling Applications Only 12 Not for Use in Locations with Wind Exposure 13 EMCR Replaces RDC6 or CP13
- 14 See Color Page for More Options/Consult Factory for Special Finishes 15 Standard Finishes

Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.



EXHIBIT I

Ordinance 6834

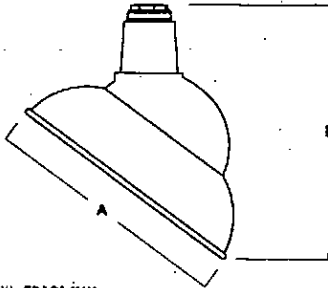


**EMBLEM SIGN
WET LOCATION**
EXTERIOR - SIGN LIGHTS

| LUMENS / WATTAGE DATA | | | | |
|-----------------------|----------------------------|-------------------------------|--------------|-----|
| PART NUMBER | SOURCE LUMENS ¹ | DELIVERED LUMENS ² | SYSTEM WATTS | LPW |
| EB1214LW15L | 1500 | 1251 | 10 | 125 |
| EB1214LW27L | 2700 | 2184 | 18 | 121 |

¹ Nominal Source Lumens of 35K ² Nominal Delivered Lumens of 35K

HOUSING DIMENSIONS



Dimensioned with EB1214LW

| SERIES | A | B |
|----------|------|------|
| EB0709LW | 7.1 | 9.7 |
| EB0910LW | 8.8 | 9.8 |
| EB1214LW | 12.4 | 12.1 |

APPLICATION

Emblem Sign light is perfect for a variety of sign and surface lighting applications. LW Series is designed for outdoor wet locations.

FEATURES

Spectrum Lighting's RLM Classics are inspired by vintage lighting fixtures redesigned with modern LED light sources and materials. The wide range of options for illumination, mounting, enclosures, guards and finishes allows for creative fixture specification and design. LED module and driver are serviceable for future replacement. Available in three sizes.

FINISH

Multi-stage polyester powder-coat process applied on our dedicated paint lines. Variety of standard and custom finishes are available. Interior is Matte White unless specified.

ELECTRONICS

LW LED system features high brightness white Samsung LED's. 3-step MacAdam Ellipse binning. Standard CRI: 80+. Higher CRI, R9 and custom LED configurations are available; consult factory. Choice of electronic 120V/277V and dimming drivers.

CONSTRUCTION

Fixture shades are spun in our factory from 0.063 high purity aluminum. Wall mount canopies are die-cast aluminum with stainless steel hardware. Wall arms are formed 3/4 NPT aluminum pipe and may be field cut.

CODE COMPLIANCE

EAA compliant, ETL certified to meet US and Canadian standards. Suitable for outdoor wet locations. Manufactured and tested to UL standards No. 1598/B750.

SERIES SIZES

EB0709LW



EB0910LW



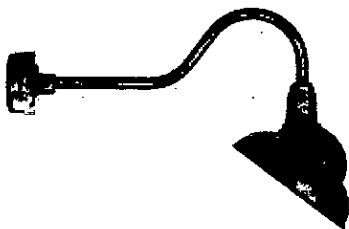
EB1214LW



WALL MOUNT

(SEE MOUNTING PAGES FOR MORE OPTIONS & DIMENSIONS.)

PA
MOUNTING ARM STYLE



EB1214LW SHOWN WITH CP1DPA23

CEILING MOUNT

(SEE MOUNTING PAGES FOR MORE OPTIONS & CANOPY DIMENSIONS.)

HM / PM
HANG STRAIGHT / PENDANT



EB1214LW SHOWN WITH ROCEPM



EXHIBIT I
Ordinance 6834



EMBLEM SIGN
WET LOCATION
EXTERIOR - SIGN LIGHTS / PHOTOMETRIC DATA

EB1214GV-27L-35K-EX-TF1-MWI

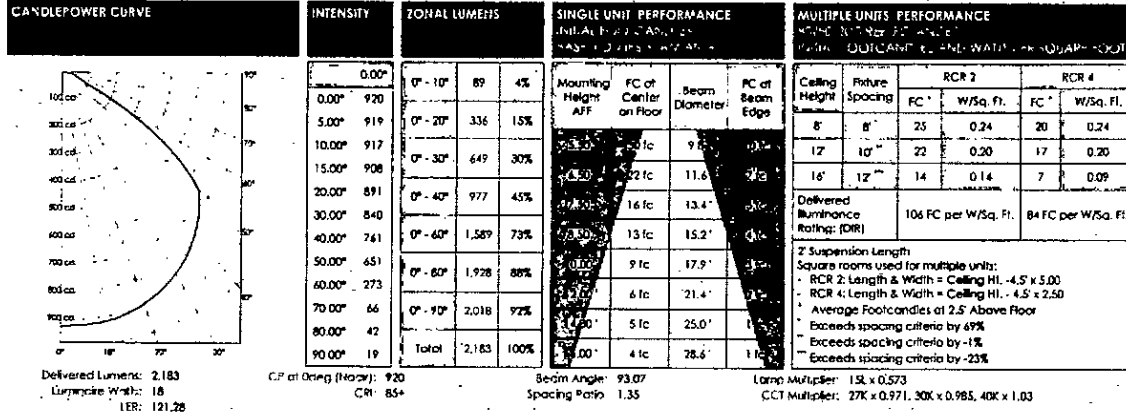


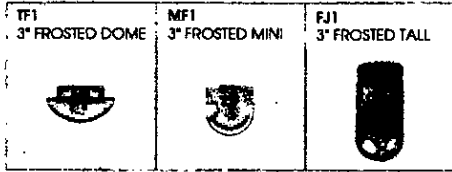
EXHIBIT I Ordinance 6834



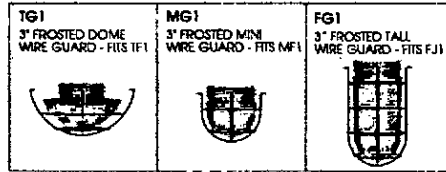
MOUNTING & ACCESSORIES

SOME OPTIONS NOT AVAILABLE ON ALL FIXTURES. CONSULT SPECIFICATION SHEETS. SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION. NOTE: THIS IS TYPICAL OF RLM SPECIFICATION FOR MOUNTING. INDIVIDUAL FIXTURES OR PROJECTS MAY HAVE SPECIALIZED REQUIREMENTS.

ENCLOSURES UP TO 27L

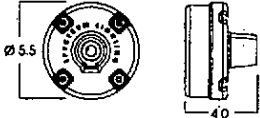


ENCLOSURE WIRE GUARDS UP TO 27L

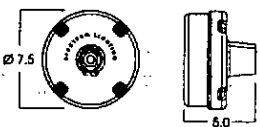


WALL MOUNTING

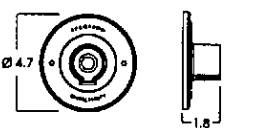
CP104 - SMALL DRIVER CANOPY (STANDARD)
MAY BE USED AS SPLICE BOX FOR DIRECT FEED



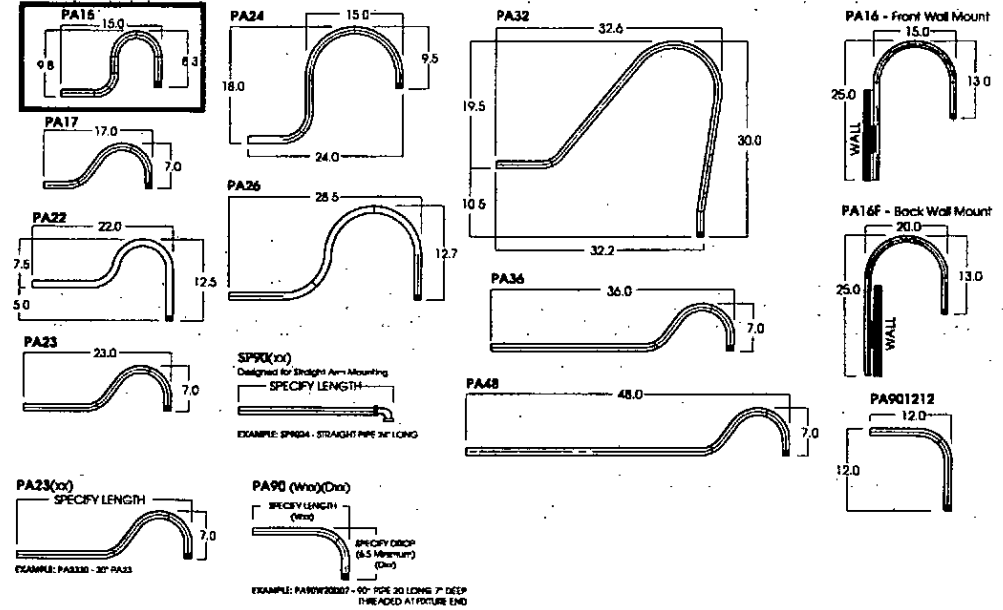
CP104 - LARGE DRIVER CANOPY
MAY BE USED AS SPLICE BOX FOR DIRECT FEED



CP6/RMD - REMOTE MOUNT DRIVER
MOUNTS DIRECTLY TO WALL OR OCTAGON STYLE J-BOX

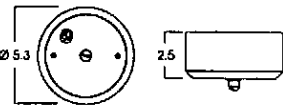


CUSTOM AND OTHER WALL ARMS AVAILABLE - CONTACT FACTORY. ARMS MAY BE FIELD CUT ON WALL SIDE - FIXTURE SIDE THREADED 3/4\"/>

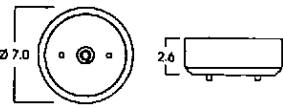


CEILING MOUNTING

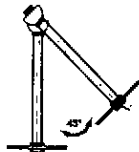
RDC5 - SMALL DRIVER CANOPY (STANDARD)
MOUNTS TO 4\"/>



CP13 - LARGE DRIVER CANOPY

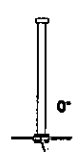


HM*
HANG STRAIGHT
45° SWIVEL 1/2\"/>



ORDER: HM (Length)
SPECIFY LENGTH:
HM3 - 3\"/>

PM*
RIGID PENDANT MOUNT
RIGID 1/2\"/>

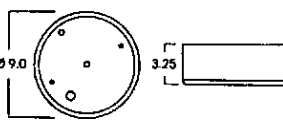


ORDER: PM (Length)
SPECIFY LENGTH:
PM3 - 3\"/>

*MAXIMUM ONE PIECE STEM LENGTH IS 72\"/>

EMERGENCY BATTERY OPTIONS

EMCR - LARGE DRIVER CANOPY FOR 10W EMERGENCY BATTERY
(FOR ROUND CEILING MOUNT TYPES)



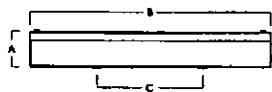
REMOTE EMERGENCY BATTERY OPTIONS

EMRM* - 7W REMOTE EMERGENCY BATTERY
(50\"/>



| A | B | C |
|-----|------|------|
| 1.3 | 12.6 | 13.0 |

EMEN* - 7W REMOTE EMERGENCY BATTERY
WITH ENCLOSURE (50\"/>



| A | B | C |
|-----|------|-----|
| 2.0 | 17.0 | 6.2 |

*OTHER EM BATTERY SIZES AVAILABLE. CONTACT FACTORY

COLOR OPTIONS - POWDER COAT PAINT FINISHES

EXHIBIT I
Ordinance 6834



NOTE: NO PRINTED IMAGE CAN EQUAL THE EXACT COLOR OF FINISH ON METAL. SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION.

STANDARD CORD / STEM / CANOPY FINISHES

| FIXTURE COLOR | STANDARD CORD COLOR | STANDARD CANOPY / STEM COLOR |
|--|---------------------|------------------------------|
| Matte White, Textured White | Matte White | Matte White |
| Gloss White | Matte White | Gloss White |
| Matte Black, Gloss Black, Textured Black | Matte Black | Matte Black |
| All Others | Matte Black | Same Color as Fixture |
| Custom Color | Contact Factory | Contact Factory |

PAINT TIMES

| TIER | COST | AVERAGE PAINT TIME* |
|----------------------------|-----------------|---------------------|
| Tier 1 - Standard Finishes | \$ | ① |
| Tier 2 - Typical Finishes | \$\$ | ①① |
| Custom Color | Contact Factory | Contact Factory |

*CONTACT FACTORY FOR SPECIFIC PRODUCT LEAD TIMES

TIER 1 - STANDARD FINISHES

| MW Matte White | GW Gloss White | PT Platinum Silver | MB Matte Black | GB Gloss Black | BZ Bronze |
|-------------------|-------------------|-----------------------|-------------------|-------------------|--------------|
| | | | | | |

TIER 2 - TYPICAL FINISHES

| TW Textured White | TB Textured Black | SN Sun Gold | CO Copper Metallic | BR Breccia | GH Graphite | CH Charcoal | AL Almond | VE Verde Green | BL Blue Streak |
|----------------------|----------------------|----------------|-----------------------|------------------------|---------------------|-----------------------|----------------------|------------------------|-------------------|
| | | | | | | | | | |
| RD Red Baron | OR Orange | CM Carnel | PL Purple | PG Peb Green | TQ Turquoise | SF Sea Foam | PK Pink | AY Aero Yellow | EG Evergreen |
| | | | | | | | | | |
| LG Lime Green | LB Light Blue | BY Burgundy | AK Anodic Black | AM Anodic Malachite | AZ Anodic Bronze | AS Anodic Sapphire | AN Anodic Natural | AC Anodic Champagne | |
| | | | | | | | | | |

CUSTOM COLOR FINISHES

CONTACT FACTORY

CC
Custom Color



OW1293 - IMAGE

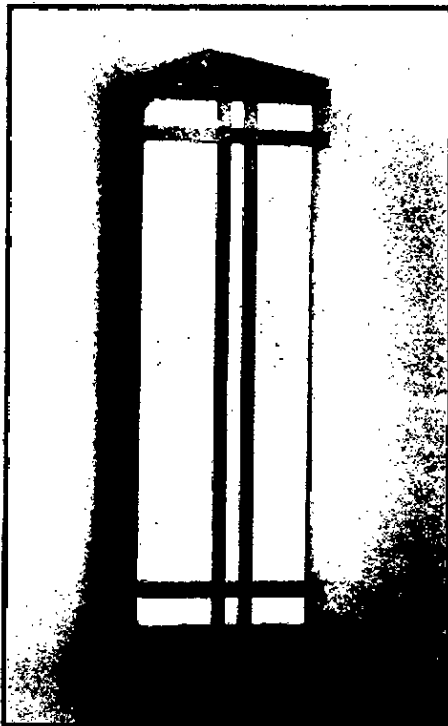


Type: Project: VisaLighting.com/products/Image

Order Code: **OW1293**

MODEL SOURCE VOLTAGE FRAME ACCENT BAR AND END CAPS OPTION(S)

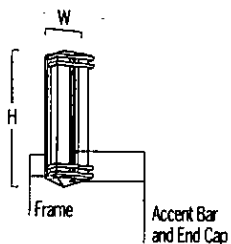
Finishes



The Image family of luminaires provides tasteful ambient light and flexible design options. These versatile fixtures can be mounted on walls in vertical or horizontal orientations and on ceilings. Image's quality construction includes solid metal trim and die cast end caps with finish options to meet any design aesthetic.

DIMENSIONS
Depth is measured from wall to front of fixture
Mounting Center is measured from the top of fixture to center of junction box
H = Height D = Depth W = Width MC = Mounting Center

| | | |
|----|---------|----------|
| H | 25-7/8" | (657 mm) |
| D | 4" | (102 mm) |
| W | 7-1/4" | (184 mm) |
| MC | 13" | (330 mm) |



SOURCE (Select one) VOLTAGE (Select one)

MVOLT fixture accepts 120 through 277 input voltage
LED sources are 83CRI, within 3-step MacAdam and are dimmable 0-10V to 1%

| Sources | CCT | Delivered Lumens | Power (Watts) | Voltage |
|----------|-------|------------------|---------------|---------|
| • L30K-L | 3000K | 1100 | 13 | MVOLT |
| • L35K-L | 3500K | | | |
| • L40K-L | 4000K | | | |
| • L30K-H | 3000K | 1700 | 19 | |
| • L35K-H | 3500K | | | |
| • L40K-H | 4000K | | | |

FINISHES (Select one) Frame Finish and one Accent Bar and End Cap Finish or Material See page 2 for color chart

Powder Coat Painted Finishes (Standard) for Frame or Accent Bar and End Cap

| | | | |
|--------------------------|-----------------------------|--------------------------|-----------------------------|
| AG7038 Agate Grey | CVBL Cove Blue | GW9002 Grey White | PB1035 Pearl Beige |
| BMAT Bronze Matte | CW9001 Cream | HTHR Heather | RUST Rust |
| BRNZ Bronze | GLIM Glimmer | B9005 Jet Black | SUNG Sungold |
| BSIL Blade Silver | GSIL Graphite Silver | OBRZ Old Bronze | TW9016 Traffic White |

Metals (Premium) for Accent Bar and End Cap only

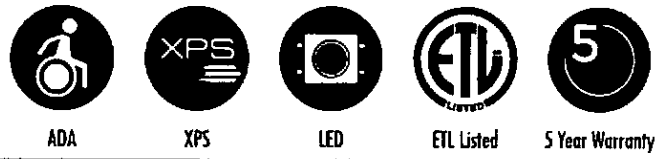
| | |
|------------------------------------|-------------------------------------|
| BSS Brushed Stainless Steel | PSS Polished Stainless Steel |
|------------------------------------|-------------------------------------|

OPTIONS (Multiple Selections Allowed)

⚠ Option availability may be interdependent with Voltage, Source or Other Options

HM Horizontal mount (vertical is standard)

XPS Express 10 day shipping. Items marked with a bullet (•) are not available with XPS



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800-788-VISA

VisaLighting.com

Page 1

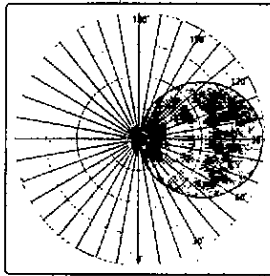
EXHIBIT I
Ordinance 6834 Rev. 2017/01/10

ECN 16-0317

OW1293 - IMAGE



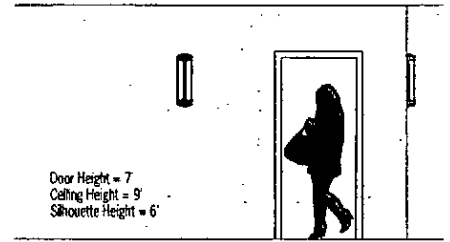
Photometric



Technical Information

- Integral LED power supply
- Modular design for replacement of LED source and power supply
- Removable cam-action hinged frame for ease of maintenance
- Vertical mounting standard (horizontal mounting optional)
- Mounts over standard electrical junction box (by others) with provided hardware.
- Extruded aluminum backplate, die-cast end caps, vertical center accent and frame side rails. Solid metal formed accent bars, gasketed and sealed construction
- 1/8" thick white acrylic diffuser
 - F1 rated, UV stable
 - UL-94 HB Flame Class rated
- No VOC powder coat paint finish
- ETL listed to for wet location mounting 4' above grade

Installation



Specify color code when ordering. For accurate color matching, individual paint and finish samples are available upon request. For additional information see VisaLighting.com/materials-finishes

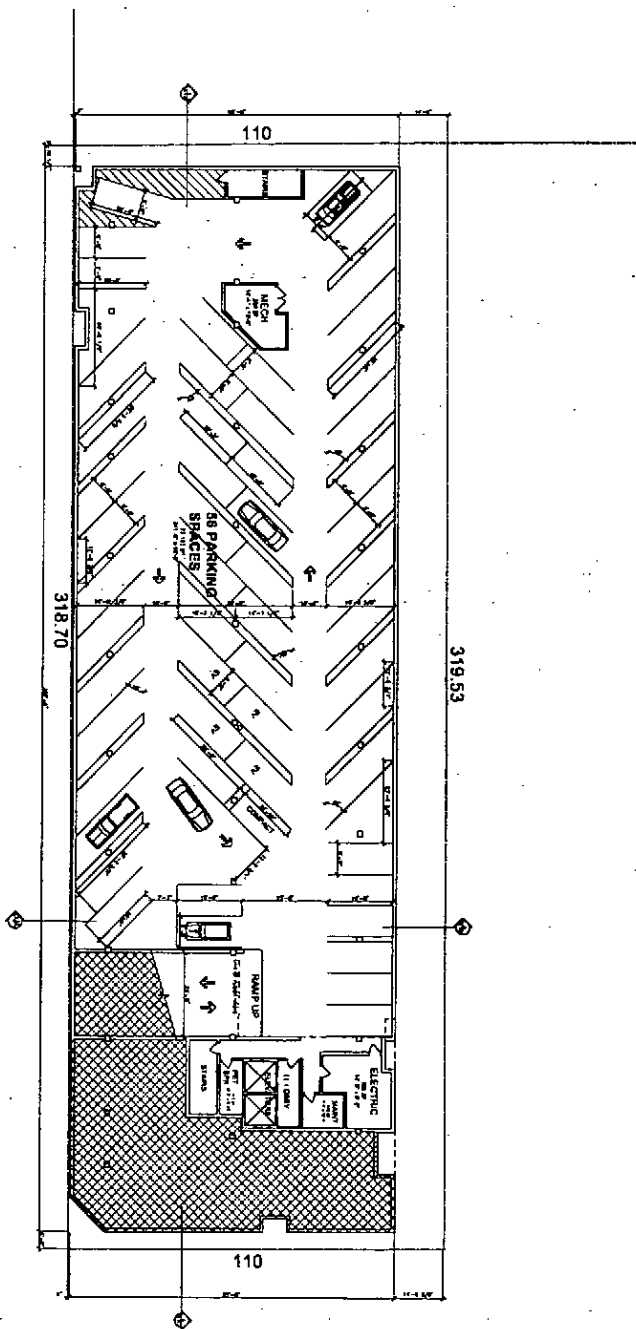
Painted Finishes (Standard)

| | | | | | | |
|--|----------------------------------|--|--------------------------------------|---------------------------------------|------------------------|--------------------------|
| | | | | | | |
| TW9016 Traffic White (RAL9016) | CW9001 Cream (RAL9001) | GW9002 Grey White (RAL9002) | JB9005 Jet Black (RAL9005) | AG7038 Agate Grey (RAL7038) | HTHR Heather | CVBL Cove Blue |
| | | | | | | |
| BSIL Blade Silver | GSIL Graphite Silver | GLIM Glimmer | SUNG Sungold | BRNZ Bronze | | |
| | | | | | | |
| OBRZ Old Bronze | BMAT Bronze Matte | PB1035 Pearl Beige (RAL1035) | RUST Rust | | | |

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EXHIBIT K
Ordinance 6834

LOWER PARKING LEVEL



TANDEM
ARCHITECTURE

1/10/2018
DESIGNER: [Signature]
REGISTERED ARCHITECT
NO. 184 858888

GRAPHIC SCALE
1" = 16'-0"

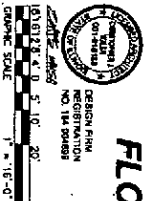
110°



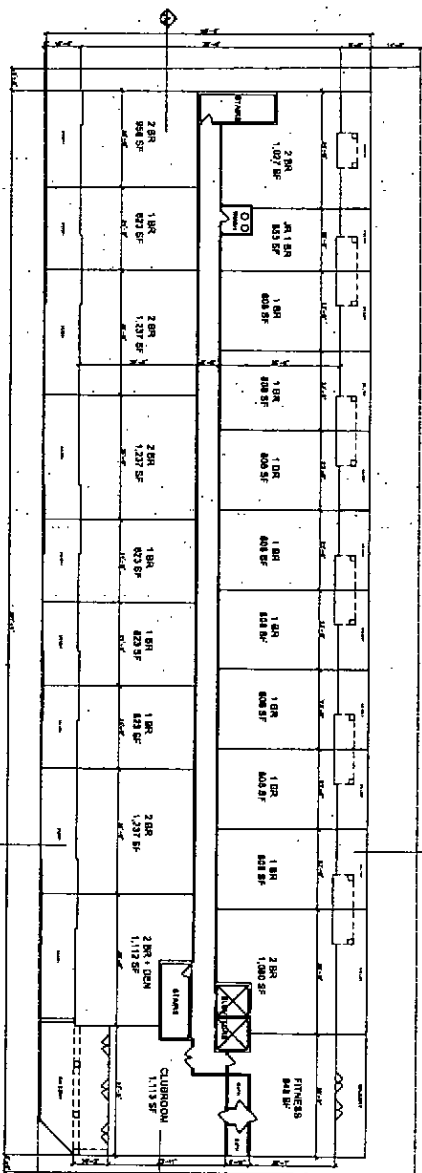
HOLLADAY
PROPERTIES
Building Solutions Since 1932

A-101
REVISION SHEET
2008.11.16

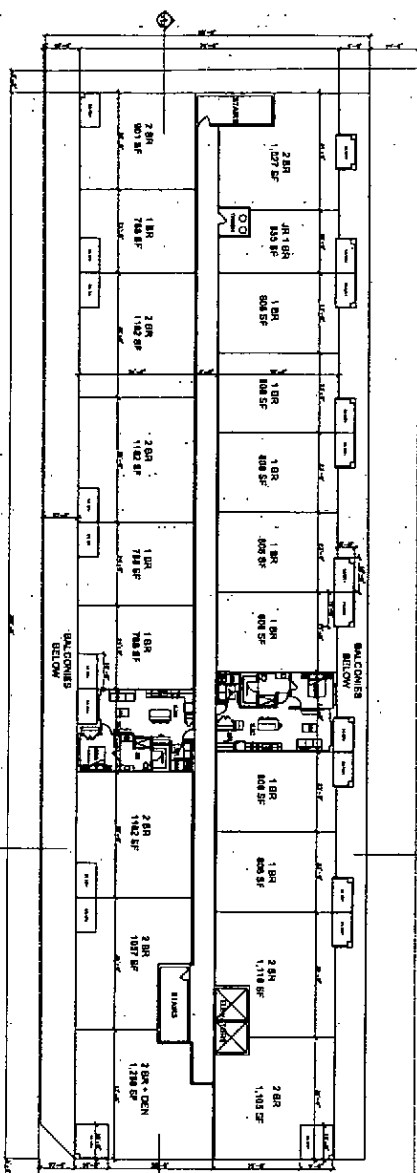
EXHIBIT L
Ordinance 6834



FLOOR PLANS - LEVEL 2



20 UNITS



22 UNITS PER FLOOR

| Apartment Data | | | |
|-----------------|--------------------|---------------------|--------|
| Number of Units | Unit Type | Unit Square Footage | M/A % |
| 4 | Junior 1 Bedroom | 555 | 4.60% |
| 47 | 1 Bedroom | 768 - 823 | 54.60% |
| 31 | 2 Bedroom | 901 - 1,237 | 82.50% |
| 4 | 2 Bedroom + Den | 1,113 - 1,288 | 81.0% |
| 86 | TOTAL UNITS | | |

A-103

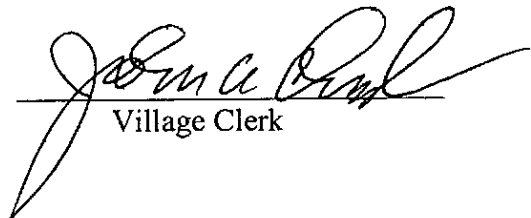
CERTIFICATION

I, John Chereskin, duly elected Village Clerk of the Village of Glen Ellyn, Illinois, do hereby certify that the attached is a true and correct copy of Ordinance No. 6834, passed by the Board of Trustees of the Village of Glen Ellyn, Illinois, at the Regular Meeting of said Board held on the 14 day of December 2020, and that the same was signed and approved by the President of said Village on the 14 day of Dec 2020.

I do further certify that the original, of which the attached is a true and correct copy, is entrusted to me as Village Clerk of said Village for safekeeping and that I am the lawful custodian and keeper of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Glen Ellyn, Illinois, this 14 day of Dec, 2020.

CORPORATE SEAL



Village Clerk



KATHLEEN V. CARRIER, RECORDER
DUPAGE COUNTY ILLINOIS
11/01/2022 10:36 AM

DOCUMENT # R2022-097938

Village of Glen Ellyn

Ordinance No. 6970

An Ordinance Granting Approval of an Amendment to Ordinance
No. 6834, Granting Approval of a Special Use Permit for a
Preliminary Planned Unit Development Plan with Deviations, a
Final Planned Unit Development, A Special Use Permit and the
Exterior Appearance For a
Mixed-Use Development to be Known As
Glenwood Station and to be Located at
464 Glenwood Avenue , Glen Ellyn, IL 60137
(formerly: 460 Crescent Boulevard, Glen Ellyn, IL 60137)

Adopted by the
President and the Board of Trustees
Of the Village of Glen Ellyn
DuPage County, Illinois
This 27 Day of June, 2022

Published in pamphlet form by the authority
of the President and Board of Trustees of the
Village of Glen Ellyn, DuPage County, Illinois,
this 28th day of June, 2022.

PREPARED BY AND MAIL TO:
(VILLAGE OF GLEN ELLYN)
ATTN: VILLAGE CLERK
535 DUANE STREET
GLEN ELLYN, IL 60137

Ordinance No. 6970

An Ordinance Granting Approval of an Amendment to Ordinance No. 6834 Granting Approval of a Special Use Permit for a Preliminary Planned Unit Development Plan with Deviations, a Final Planned Unit Development, A Special Use Permit and the Exterior Appearance For a Mixed-Use Development to be Known As Glenwood Station and to be Located at 464 Glenwood Avenue, Glen Ellyn, IL 60137 (formerly: 460 Crescent Boulevard, Glen Ellyn, IL 60137)

Whereas, Holladay Property Services Midwest, Inc., is the developer of the property commonly known as 464 Glenwood Avenue (formerly: 460 Crescent Boulevard), legally described herein (“Subject Property”), attached hereto and incorporated herein by reference; and

Whereas, on December 14, 2020, the President and Village Board of Trustees approved Ordinance No. 6834 Granting Approval of a Special Use Permit for a Preliminary Planned Unit Development Plan with Deviations, a Final Planned Unit Development, A Special Use Permit and the Exterior Appearance for a Mixed-Use Development to be Known As Glenwood Station and to be Located at 464 Glenwood Avenue, (formerly 460 Crescent Boulevard); and

Whereas, Michael O’Connor, Vice President of Development & Leasing of Holladay Property Services Midwest, Inc. (“Petitioner”), has petitioned the President and Board of Trustees of the Village of Glen Ellyn, to amend the previously granted approval ordinance and for approval of the following deviation to be added to the Final Planned Unit Development:

- A. A Special Use Permit for a Planned Unit Development on the Subject Property located at 464 Glenwood Avenue in accordance with Section 10-10-15 of the Glen Ellyn Zoning Code.
- B. The following zoning deviation from the Glen Ellyn Zoning Code (all other previous deviation granted remain unchanged):
 1. To allow 102 parking stalls where a total of 151 are required for a mix of 86 studio, one-bedroom, and two-bedroom multi-family dwelling units and 1,490 square feet of commercial use [Section 10-4-17-2(G)(8), Section 10-4-17-2(G)(1)];

all to allow the construction of a five-story mixed-use building on the Subject Property; and

Whereas, the Subject Property is located at 464 Glenwood Avenue in the C5B Central Service Subdistrict, on the north side of Crescent Boulevard and on the west side of Glenwood Avenue between Glenwood and Prospect Avenues, and is legally described as follows:

464 GLENWOOD AVENUE (FORMERLY: 460 CRESCENT BOULEVARD)

THE SOUTH 110 FEET OF ALL THAT PART OF BLOCK 5 IN THE TOWN OF DANBY (ALSO BLOCK 5 IN THE PLAT OF COUNTY CLERK'S SECOND ASSESSMENT DIVISION) ALL IN THE SOUTHWEST ¼ OF SECTION 11, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE WEST LINE OF LOT 3 IN MORRELL'S PLAT OF LOTS 2 AND 3, BEING PART OF SAID BLOCK 5 ACCORDING TO THE PLAT OF SAID MORRELL'S LOTS RECORDED JANUARY 10, 1962 AS DOCUMENT R62-994, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-11-314-008

Whereas, following due and proper publication of notice in The Daily Herald not less than fifteen (15) nor more than thirty (30) days prior thereto, and following written notice to all property owners within 250 feet of the Subject Property, and following the placement of placards on the Subject Property not less than fifteen (15) days prior thereto, the Glen Ellyn Plan Commission conducted a public hearing on May 12, 2022, at which the petitioner presented evidence and testimony in support of the Zoning Approval, and at which one (1) person appeared in favor of the Zoning Approval and zero (0) persons appeared in opposition thereto, and at which comments received prior to the remote public hearing from eleven (11) members of the public were read into the public record, of which two (2) comments were in support of the Zoning Approval and five (5) were in opposition thereto, and four (4) were neither in favor nor against; and

Whereas, after having considered the evidence presented, including the exhibits and materials submitted, the Plan Commission made its findings and recommendations and by a vote of six (6) "yes" and one (1) "no" with two (2) absent, the Plan Commission recommended approval of the

Petitioner's Zoning Approval request with conditions as set forth in the November 12, 2020 minutes of the Plan Commission; and

Whereas, the Village President and Board of Trustees have reviewed the evidence, exhibits, and materials presented at the public hearing of the Plan Commission and have considered the findings and recommendations of the Plan Commission and hereby make the following findings of fact in regard to the request; and

Whereas, in regard to the requested Special Use for a Planned Unit Development, including the Preliminary and Final Planned Unit Development Plans and the deviations noted herein above, the Village Board finds that:

1. That the proposed development will not negatively affect the community as a whole because the 86 dwelling units, 1,490 square feet of commercial space, and two enclosed tiers of no less than 102 parking stalls are consistent with the future land use designation and objectives of the 2001 Comprehensive Plan and the 2009 Downtown Strategic Plan. The residential use will increase the number of consumers for the downtown and the associated parking is sufficient for the proposed number of apartments due to its proximity of less than one quarter mile from the Glen Ellyn Metra station. Further, the associated residential use and will not overburden adjacent streets and or decrease the level of service of adjacent intersections. The commercial space will also be occupied by a use normally permitted by right or as a special use in the C5B Central Service Subdistrict.
2. That the proposed development will not negatively affect the neighborhood as the proposed height is consistent with adjacent multi-family residential properties to the north and other multi-family residential properties in the downtown. The subject property is located at a low point in the downtown further reducing the impact of the proposed height of the development. The proposed front, corner, side and rear yard setbacks are consistent with those of other properties in the downtown.
3. That the proposed development is a combination of residential and commercial uses such that they support one another, with sufficient parking enclosed below grade and at grade, a commercial space for a new business which the residents of the building may frequent. The proposed development includes amenities for the future apartment residents, including but not limited to, a fitness facility, conference room, club room, and pet spa. That part of the property not covered by the building or pavement is landscaped with low maintenance landscape materials along the north and west sides of the building. Again, the setbacks for the buildings are compatible with

those of surrounding properties in the Central Business District. The proposed parking is adequate for the uses proposed on the site, and while no loading space is required of the development, one has been provided on the north side of the building.

4. That the proposed development will not negatively affect the development procedures, including but not limited to, the proposed streetscape improvements within the downtown as the petitioner is required to coordinate with the Public Works Department.

Whereas, in regard to the requested Amendment to a Special Use to allow a mixed use development including residential dwelling units in the C5B Central Service Subdistrict, the Village Board finds that:

1. The proposed use will be harmonious and in accordance with the general objectives, or within a specific objective of the Comprehensive Plan and/or Zoning Code, because the proposed development with 1,490 square feet of ground floor commercial space, 86 apartments, and two enclosed tiers of no less than 102 parking stalls fulfills many of the recommendations of the 2009 Downtown Strategic Plan, including the recommendation to construct a minimum of 450 new dwelling units in the downtown by adding 86 dwelling units. The proposed development will therefore meet the objective to “increase the Village’s population within walking distance of the downtown by increasing the number of dwelling units (and thereby consumers) in and around the Downtown.” The Downtown Strategic Plan also calls for “additional dwelling units for different types of households – especially empty-nesters (couples who no longer need a big house but want to remain in Glen Ellyn) and young professionals (individuals and couples who want to live in Glen Ellyn but don’t need or want a house at this stage in their lives).” The proposed development provides two enclosed tiers of at least 102 parking stalls for the multi-family dwelling units, which is also consistent with the future land use of the subject property as “potential residential with structured parking” as recommended in the Executive Summary of the Downtown Strategic Plan. Additionally, the proposed development is consistent with Initiative 18 of the Downtown Strategic Plan, which describe the area as being a primarily residential, mixed-use development with up to 18,000 square feet of retail and 168 dwelling units (d.u.), above one to two lower levels of parking. The proposed development will provide 1,490 square feet of leasable commercial space fronting Glenwood Avenue and contribute to the downtown shopping and dining experience, whereas the property, with a 13,500 square-foot commercial building and surface parking lot, has been vacant since October 2016 and not been contributing to the Downtown. Finally, overall maximum height of 66 feet 8 inches due to the elevator overrun is consistent with the Planning Influences subsection of the 2001 Comprehensive Plan, which states that a height bonus of up to 65 feet for certain circumstances is appropriate in the C5B Central Service Subdistrict.
2. The planned unit development will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general

vicinity and that such use will not change the essential character of the same area because the proposed development is in proximity to existing multi-family buildings to the north, which are also multiple stories in height similar to the proposed development. The subject property on which the development is proposed is located at a lower point in the Downtown as the elevation increases to the north, further lessening the impact of the proposed height. The proposed development is also within less than a quarter mile of the Glen Ellyn Metra station, which is important to facilitate transit-oriented development. The traffic study prepared by KLOA, Inc. notes that residents in transit-oriented development are two times less likely to own a car and the proposed parking ratio is sufficient for the 86 apartments proposed. The traffic study also states that the traffic generated by the apartments and the commercial use will be relatively low and not overburden the adjacent street network or reduce the levels of service of the intersections.

3. The proposed use will not be hazardous or disturbing to existing or future neighborhood uses of the property because the proposed development is consistent with the future land use designated in both the 2001 Comprehensive Plan and the 2009 Downtown Strategic Plan. The property is currently occupied by a vacant 13,500 square foot commercial building and surface parking lot with 42 stalls. The proposed development will provide 1,490 square feet of ground floor commercial space along Glenwood Avenue and 86 apartments, which adds to the number of consumers able to frequent downtown businesses.
4. The proposed use will be served adequately by existing public facilities and services such as highways, streets, police, fire protection, drainage structure, refuse disposal, water, sewers and schools because the public facilities and services are sufficient to serve the proposed development. The existing storm, sanitary and water services have sufficient capacity to serve the proposed development. The anticipated future residents will most likely be adults with few if any school aged children. The Building will be served by two elevators and with automatic sprinklers and an emergency generator for added safety. The proposed development will be owned by a single entity and be professionally managed by an on-site management company. The owner of the building will contract private refuse and recycling, building and grounds maintenance including landscaping and snow removal.
5. The proposed use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the Village because the proposed 86 apartments are anticipated to be occupied by “renters by choice” seeking an alternative to traditional single-family homes. By increasing the population in the downtown, the number of consumers able to walk to businesses in the downtown will also increase and therefore contribute to the economy in the downtown and generate additional sales tax revenue. The proposed development will also generate significant increment within the downtown TIF district. This increment then can be used toward public improvement projects and other redevelopment opportunities within the Village.

6. The use will not involve activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare and odors because the proposed development, being mixed-use that is primarily residential, will not involve uses, activities, processes, material or equipment that would be detrimental to any persons or property or the general welfare and will not produce excessive traffic, noise, smoke, fumes, glare or odors. The 1,490 square feet of commercial space on the ground floor of the proposed development will also conform to the uses listed in the C5B Central Service Subdistrict. The proposed development will also be designed to conform to applicable building codes, which regulate the life safety and welfare of the general public. The surrounding area will benefit by increasing the number of potential consumers of downtown businesses.
7. The development will have vehicular approaches to the property, which shall be so designed as not to create an undue interference with traffic on surrounding public streets or roads because vehicular traffic will be directed to Crescent Boulevard and the traffic generated by the proposed development will not negatively impact the level of service of the adjacent intersections. The proposed number of parking stalls are also sufficient to accommodate the proposed number of apartments, and public parking is available on adjacent streets and in the Crescent Glenwood parking lot to serve the commercial use.
8. The development will not increase the potential for flood damage to adjacent property or require additional public expense for flood protection, rescue or relief because the proposed development adds minimum additional impervious surface to the subject property compared to the existing conditions of the property. The net new impervious surface proposed is less than 300 square feet and therefore a drainage plan and stormwater management facility is not required per the Village's stormwater regulations. All stormwater is conveyed to the public storm sewer system and will not negatively impact adjacent properties.
9. The development will not result in destruction, loss or damage of natural, scenic or historic features of major importance to the community because the subject property is currently developed by an existing 13,500 square foot commercial building and a 42-stall surface parking lot and no natural or scenic features of major important to the community are located on or near the subject property as noted in the Illinois Department of Natural Resources report dated June 9, 2020.

Whereas, in regard to the petitioner's request for Amended Exterior Appearance approval, the Village Board finds that the proposed exterior appearance is compatible with the goals and purpose of the Appearance Review Guidelines adopted on October 9, 2006 by adoption of Ordinance 5508; and

Whereas, the Village President and Board of Trustees have determined that approving the Amendment to the Special Use for a Planned Unit Development, including the Preliminary and Final Planned Unit Development Plans and the Deviations noted herein above, and the Special Use Permit to allow a mixed-use development including dwelling units in the C5B Central Service Subdistrict as recommended by the Plan Commission is consistent with the goals of the Glen Ellyn Zoning Code, and that the granting of the Exterior Appearance of the project as recommended by the Plan Commission is consistent with the recommendations of the Glen Ellyn Appearance Review Guidelines and in the best interests of the Village of Glen Ellyn.

Now, Therefore, Be it Ordained by the President and Board of Trustees of the Village of Glen Ellyn, DuPage County, Illinois, in the exercise of its home rule powers, as follows:

Section One: The approved Plan Commission meeting minutes, dated May 12, 2022, and attached as Exhibit "B" hereto, and the findings of fact set forth therein and in the preambles above are hereby adopted as the finding of fact of the Village President and Board of Trustees based upon their review of the evidence, exhibits, and materials presented at the May 12, 2022 public hearing before the Plan Commission.

Section Two: Based upon the findings of fact and recommendation of the Plan Commission, as adopted herein, and the findings of fact and conclusions set forth herein, the Village President and the Board of Trustees hereby grant approval of an Amended Special Use Permit for a Planned Unit Development with Deviations, a Preliminary and Final Planned Unit Development Plan, a Special Use Permit for multi-family dwellings in the C5B Central Service Subdistrict, and the Amended Exterior Appearance to allow the construction of a five-story, mixed-use building on the Subject Property, as requested and identified herein above.

Section Three: This grant of approval is subject to the following conditions:

- A. The project shall be constructed, maintained, and operated in substantial conformance with the plans and testimony presented at the May 12, 2022, Plan Commission public hearing and

before the Village Board of Trustees, including the following plans and documents referenced below, all of which are incorporated into this Ordinance as though they were attached hereto:

1. Petitioner's Application Packet, including the following materials:
 - a. Petitioner's Cover Letter, dated 5/29/2020
 - b. Petitioner's Application for Preliminary PUD Approval, dated 5/29/2020
 - c. Petitioner's Application for Final PUD Approval, dated 5/29/2020
 - d. Petitioner's Application for Special Use Permit for Multi-Family Dwelling Units, dated 5/29/2020
 - e. Petitioner's Application for Exterior Appearance Approval, dated 5/29/2020
 - f. List of Requested Deviations
 - g. Supporting Application Materials
 - h. Representative Project References
 - i. EcoCAT Report, dated 6/9/2020
 - j. Land Use Opinion, dated 4/9/2020
 - k. Phase II Subsurface Investigation Report, prepared by AJS Group, Inc., dated 2/6/2015
 - l. Phase II Subsurface Investigation Report, prepared by AJS Group, Inc., dated 7/3/2017
 - m. Residential Market Analysis, prepared by Tracy Cross & Associates, dated September 2020
 - n. ALTA ACSM Land Title Survey, prepared by Lambert & Associates Land Surveyors, dated 3/21/2015, Exhibit "A"
 - o. Traffic Study, prepared by KLOA, Inc, dated 11/9/2020
 - p. Construction Schedule, prepared by Holladay Construction Group, no date
2. Site Plans, all prepared by CivWorks Consulting, LLC
 - a. Existing Conditions (by others), C2.0, dated 12/1/2020
 - b. Site Demolition Plan, C2.1, dated 12/1/2020, Exhibit "C"
 - c. Site Dimensional & Paving Plan, C3.0, dated 12/1/2020, Exhibit "E"
 - d. Site Utility Plan, C4.0, dated 12/1/2020, Exhibit "F"
 - e. Site Grading Plan, C5.0, dated 12/1/2020
 - f. Average Existing Grade Exhibit, C5.1, dated 12/1/2020
 - g. Pervious/Impervious Exhibit, EX1.0, dated 12/1/2020
 - h. Garage Parking Vehicle Circulation Exhibit, TR1.0, dated 4/04/2022
3. Architectural Plans and Landscape Plan, all prepared by Tandem Architecture, Inc.
 - a. Main Street-Parking Level PUD Plan, A-102, dated 11/23/2020, Exhibit "D"
 - b. Lower Level Floor Plan, A-101, dated 4/08/2022, Exhibit "K"
 - c. Floors 2-5, A-103, dated 4/08/2022, Exhibit "L"
 - d. Elevations, A-200, dated 4/08/2022, Exhibit "J"
 - e. Landscape Plan, L-100, dated 11/23/2020, Exhibit "G"
 - f. Building Sections, A-300, dated 4/08/2022
 - g. Elevations in color, A-400, dated 4/08/2022
 - h. Renderings – daytime, A-401, dated 4/08/2022
 - i. Renderings – nighttime, A-402, dated 11/23/2020
4. Lighting Plans

- a. Photometric Plan, prepared by KSA Lighting & Controls, dated 12/9/2020, Exhibit "H"
- b. Light Fixture Cut Sheets, Exhibit "T"

and these plans and documents shall be filed with and made part of the permanent records of the Glen Ellyn Community Development Department;

- B. That the petitioner shall install, replace as necessary, and perpetually maintain all landscape materials per the approved landscape plan;
- C. That the petitioner prepare a construction management plan for Village review and approval that will be discussed at a pre-construction meeting with the Police, Fire, Public Works, and Community Development Departments and that said Village staff approve the construction management plan before the issuance of a building permit;
- D. That the proposed drop-off/pick-up recessed curb area at the northwest corner of the Crescent-Glenwood intersection, should it remain and be incorporated into the Village Board approved downtown streetscape improvement plan, be signed with a time limit of 15 minutes;
- E. That the petitioner shall comply with the downtown streetscape improvement plan adopted by the Village Board for the Glenwood Avenue and Crescent Boulevard rights-of-way and coordinate with Public Works on the installation of the materials;
- F. That any outdoor café seating obtain a license agreement with the Village annually before seating is installed outside and used;
- G. That the petitioner coordinate with Public Works to install a new bike rack consistent with downtown streetscape furniture in an appropriate location;
- H. That sheets A-101 and A-102, prepared by Tandem Architecture, Inc., dated 11/5/2020, which propose a total of 104 parking stalls, be modified as required by the 2018 Illinois Accessibility Code and Section 10-5-13(I) of the Glen Ellyn Zoning Code, provided that no less than 102 parking stalls be shown on the plan prior to building permit issuance;
- I. That all visible rooftop mechanical units be screened with a height not to exceed that of the overall maximum height deviation granted;
- J. That the petitioner understands that at the time of approval of this ordinance the streetscape plans are in draft form and subject to change and the petitioner will implement the final streetscape plan approved by the Village Board;
- K. That the petitioner secure all required temporary construction and perpetual easements on private property before the issuance of any building permits;
- L. That the petitioner pay a total of \$171,205.64 in developer donations for dispersal to the Glen Ellyn Park District, School District 41, School District 87, the Glen Ellyn Library, and the Glen Ellyn Volunteer Fire Company before the issuance of any construction building permits;

- M. That all floor plans, elevations, and other architectural plans be consistent with one another to the satisfaction of the Building & Zoning Official;
- N. That pedestrian safety lights at the garage doors on the Crescent façade be installed.
- O. That the building elevations be updated for the building permit submittal to match the photometric plan that has been revised to include the historic lighting fixtures recommended by the Historic Preservation Commission; and
- P. That all requirements outlined in the Redevelopment Agreement that are necessary prior to the issuance of a building permit shall be satisfied prior to building permit issuance.

Section Four: The Village Board may, for good cause shown, waive or modify any conditions set forth in this Ordinance without requiring that the matter return for public hearing.

Section Five: This Ordinance shall be in full force and effect from and after the passage, approval, and publication in pamphlet form.

Section Six: The Building and Zoning Official is hereby authorized and directed to issue building permits for the subject property, consistent with the approvals granted herein, provided that all conditions set forth hereinabove have been met and that the proposed construction is in compliance with all other applicable laws and ordinances. This grant of the approvals shall expire and become null and void twenty-four (24) months from the date of passage of this Ordinance unless a building permit to begin construction in accordance with this Ordinance is applied for within said twenty-four (24)-month time period and construction is continuously and vigorously pursued provided, however, the Village Board, by motion, may extend the period during which permit application, construction, and completion shall take place.

Section Seven: The Village Clerk is hereby authorized to record this Ordinance with the DuPage County Recorder.

Section Eight: The privileges, obligations, and provisions of each and every section of this Ordinance shall be binding on Holladay Property Services Midwest, Inc., on any and all of their


successors and assigns, and on any and all of the respective successor legal or beneficial owners of all or any portion of the property commonly known as 460 Crescent Boulevard, Glen Ellyn, Illinois.

Section Nine: The foregoing recitals are incorporated as though fully set forth in this Section Nine.

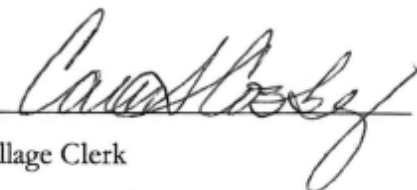
Passed by the President and Board of Trustees of the Village of Glen Ellyn, Illinois this 27 day of July 2022.

| | Ayes | | Nays | | Absent |
|------------------------------|------|--|------|--|--------|
| Fasules | X | | | | |
| Gould | | | | | X |
| Thompson | X | | | | |
| Kalinich | X | | | | |
| Payne | X | | | | |
| Christiansen | X | | | | |
| Senak (in event of a tie) | | | | | |

Approved by the Village President of the Village of Glen Ellyn, Illinois this 27 day of June 2022.


 Village President

Attest:


 Village Clerk

AFFIX VILLAGE SEAL

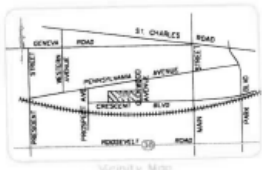
(Published in pamphlet form and posted on the 28th day of June, 2022.)

ALTA/ACSM LAND TITLE SURVEY

OF
460 CRESCENT BOULEVARD, GLEN ELLYN, ILLINOIS, 60137

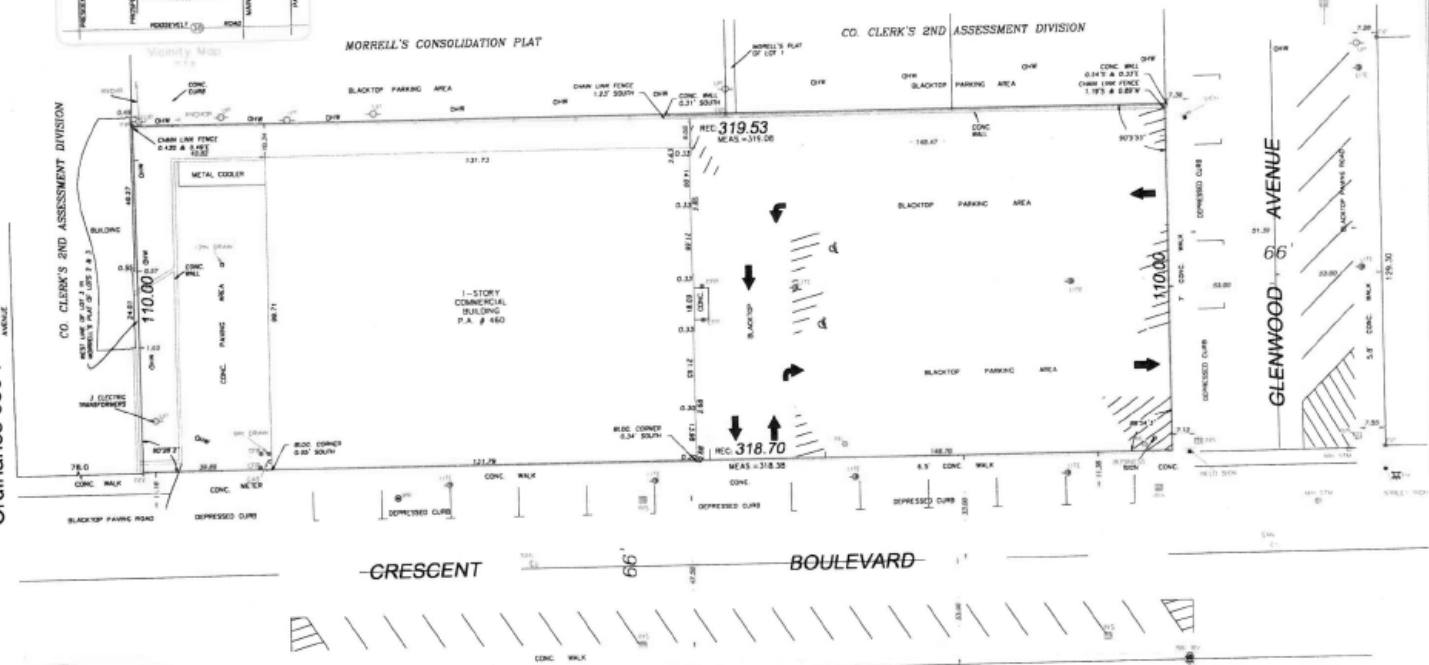
LEGAL DESCRIPTION:
THE SOUTH 110 FEET OF ALL THAT PART OF BLOCK 5, IN THE TOWN OF DANIEL (ALSO BLOCK 5 IN THE PLAT OF COUNTY CLERK'S SECOND ASSESSMENT DIVISION), ALL IN THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE WEST LINE OF LOT 3 IN MORRELL'S PLAT OF LOTS 2 AND 3, BEING PART OF SAID BLOCK 5 ACCORDING TO THE PLAT OF SAID MORRELL'S LOTS RECORDED JANUARY 10, 1962 AS DOCUMENT 1862-694, IN DUPAGE COUNTY, ILLINOIS.

Permanent Index No: 05-11-314-008



MORRELL'S CONSOLIDATION PLAT

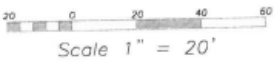
CO. CLERK'S 2ND ASSESSMENT DIVISION



Ordinance 6834

CRESCENT BOULEVARD

GLENWOOD AVENUE



Miscellaneous Notes:
BUILDING AREA = 13138.04 Sq. Ft.
PROPERTY AREA = 30039.76 Sq. Ft.
60 CIRC. AREAS MORE OR LESS
BUILDING HEIGHT = 17.7 Ft.
STRIPPED PARKING SPACES = 36
HANDICAP PARKING SPACES = 2
No evidence of recent earth moving work or building construction on site.
No observed evidence of site being used as a solid waste dump or sanitary land fill.

FLOOD NOTE:
BY GRAPHIC PLOTTING ONLY, BASED ON THE "DUPAGE REGULATORY FLOOD MAP" MAP NUMBER 17043006A, EFFECTIVE DATE JULY 7, 2010, THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

Legend of Symbols & Abbreviations

| | |
|--------------------------------------|-------------------------------|
| • INDICATES IRON PIPE FOUND (IPF) | ⊙ CONCRETE FILLED POST (CFP) |
| ⊙ EXISTING VALVE WALK | AC AIR-CONDITIONING UNIT |
| ⊙ EXISTING VALVE BOX | ☒ EXISTING TELEPHONE BOX |
| ⊙ EXISTING SQUARE INLET | ⊙ EXISTING MANHOLE |
| ⊙ EXISTING STORM INLET (SI) | ⊙ EXISTING WELL |
| ⊙ [N-SIDE] INDICATES WATER MANHOLE | ⊙ EXISTING TRAFFIC SIGN |
| ⊙ [SIDE-SIDE] EXISTING STORM MANHOLE | ⊙ EXISTING STREET LIGHT (SLF) |
| ⊙ EXISTING MANHOLE (MH) | ⊙ HANDICAPPED PARKING SPOT |
| ⊙ EXISTING UTILITY POLE | ⊙ ELECTRIC TRANSFORMER |
| ⊙ EXISTING FIRE HYDRANT (FH) | ⊙ ELECTRIC BOX |
| | ⊙ EXISTING CONCRETE PAVEMENT |

ALTA/ACSM CERTIFICATION:
THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, AS ESTABLISHED AND ADOPTED BY ALTA, ACSM AND RPLS IN 2017. THE LAWS OF THE STATE OF ILLINOIS, INCLUDING ITEMS 1, 2, 3, 4, REG. 750, 751, 752, 8, 9, 11A, 13, 14, 16, 18 OF TABLE "A" THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, ACSM AND RPLS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. THE SURVEY MEASUREMENTS WERE MADE BY THE UNDERSIGNED, FURTHER CERTIFYING THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.

DATE: _____ FOLLOWUP COMPLETED: 9/2/2018

(SIGNED) _____ ILLINOIS LAND SURVEYOR NO. 1880, LICENSE EXPIRES 11/30/18 ILLINOIS DESIGN FIRM NO. 184-006811

CERTIFIED TO:
1- SPRINGBANK CAPITAL ADVISORS, LLC
2- CHICAGO TITLE INSURANCE COMPANY

ORDERED BY: MALVERN, BENELLI | ORDER NO.: 12.C.029 | FILE NO.: 180128

LAMBERT & ASSOCIATES
LAND SURVEYORS
955 WEST LIBERTY DR., WHEATON, IL, 60187
PHONE: (630) 653-6331 FAX: (630) 653-6396

• FOUND IRON STAKE
○ SET IRON STAKE

**Exhibit B
Ordinance 6834**

**DRAFT MINUTES
REGULAR PLAN COMMISSION MEETING
May 12, 2022**

Call to Order and Roll Call

Acting Chairperson Angela Fanella convened the meeting at 7:05 p.m. Roll was taken with, in addition to Chairwoman Fanella, Commissioners Arango, Brown, Cooper, Saeed, Thakkar and Vondruska in attendance, and Chairperson Loftus and Commissioner Halkyard absent. Acting Chairperson Fanella described the Plan Commission's advisory role and operation, including procedures for public comment. She introduced Village Board Trustee Liaison Steve Thompson, Interim Community Development Director/Assistant Village Manager Emily Rodman, Planner Atrian Fard and Recording Secretary Barbara Dutton-Thomas.

Public Comment Non-Agenda Items

None.

Approval of Draft Minutes

Following a motion by Commissioner Cooper, seconded by Commissioner Vondruska, the April 14, 2022 Plan Commission Meeting draft minutes were accepted by voice vote.

Following a motion by Commissioner Cooper, seconded by Commissioner Thakkar, the April 28, 2022 Plan Commission Meeting draft minutes were accepted by voice vote.

Public Hearing – 464 Glenwood Avenue (formerly 460 Crescent Blvd.)

A motion made by Commissioner Cooper and seconded by Commissioner Vondruska to open the Public Hearing passed unanimously by roll call vote.

Staff Introduction

Sworn in, Atrian Fard, Planner, 535 Duane, stated that the Petitioners, Mike O'Connor and Drew Mitchell of Holladay Property Services, on behalf of the property owner, and have submitted a formal application for approval of an amendment to the Planned Unit Development Plans for the Glenwood Station mixed-use development project. Changes to the approved PUD plans, she related, include moving the northwest corner of the below-grade parking structure southeast approximately 10 ft. and modifying the plans for floors 2-5 of the structure to relocate the north facade 9 ft. to the north to align with the north edge of the podium level below. The exterior balconies on the north elevation would be replaced with Juliet balconies, she added. The changes proposed to the plans are largely being requested to off-set the increased costs associated with building materials since the project was approved in 2020, Planner Fard explained. The developers have indicated that without these revisions to the plans or an increased TIF incentive, the project would not be financeable, she said. To proceed with the project as proposed, stated Planner Fard, the Petitioners will need approval of the following:

Exhibit B
Ordinance 6834

- An Amendment to the Special Use Permit for a Preliminary and Final Planned Unit Development Plan for the property located at 464 Glenwood Avenue in accordance with Section 10-10-15 of the Glen Ellyn Zoning Code.
- The following amendment to the parking deviation that was granted by Ordinance No. 6834 from the Glen Ellyn Zoning Code (all other previous deviations granted will be remaining unchanged).

Planner Fard explained that the deviation for the parking lot is to allow 102 parking stalls where 151 are required for a mix of 86 junior one-bedroom, and two-bedroom dwelling units and 1,490SF of commercial spaces. Staff, she said, notes that the applicant previously applied for a deviation from this section of the Code to allow for 104 parking stalls, which is consistent with the approved plans; however, due to a typographical error in the approving Ordinance, approval was granted for 102 parking stalls. Since the approved plans illustrate 104 parking stalls to be provided and the Plan Commission and Village Board approved it, therefore, they need to apply for an amendment to the PUD. The subject property, continued Planner Fard, is located on the north side of Crescent Boulevard between Prospect Avenue and Glenwood Avenue in the C5B Central Service Sub-district, is approximately 0.81 acres in size, and surrounded by other C5 zoning.

The Petitioners, she related, appeared before the Plan Commission on November 12, 2020 for a public hearing, and received recommendation for approval of a preliminary and final PUD, deviations, a Special Use Permit for multifamily dwellings in C5B and exterior appearance. On December 14, 2020, continued Planner Fard, the Village Board considered the Special Use Permit for the Preliminary and Final Planned Unit Development Plans with Deviations, the Special Use Permit to allow dwelling units in C5B, the Exterior Appearance of the building and a Redevelopment Agreement for the proposed development. In November of 2021, she stated, the developers submitted a building permit application and plans for the project. Staff has completed two reviews of the plans at this point. The building permit plans would need to be revised to reflect the changes proposed to the PUD plans if approved by the Village Board.

The amendment to the PUD plans, explained Planner Fard, includes moving the northwest corner of the below-grade parking structure southeast approximately 10 ft. This modification to the plans will result in the loss of two parking spaces and requires approval of additional zoning relief, she said, adding that the total parking required for the proposed dwelling units and commercial spaces is 151 stalls. The approved PUD plan included 104 parking stalls, she noted, and the revised plan now shows 102 parking stalls. The proposed plan revisions also include relocation of the north façade for floors 2-5 approximately 9 ft. north, she stated, in line with the north wall of the first-floor podium of the building. The projecting balconies previously proposed would be replaced with Juliet balconies, said Ms. Fard. This change will create additional rentable square footage for all of the units on the north side of the building, she stated. The revised floor plans indicate that all units on floors 2-5 on the north side of the building will feature a den, concluded Planner Fard, who displayed illustrations, and said the developers plan to demolish the existing building in May 2022, and will be seeking a second building permit, and reviewed construction schedule changes, to yield occupancy in July 2024. She went on to list possible Plan Commission action.

Petitioner's Presentation

Sworn in for the Petitioner were Drew Mitchell, 122 E. 7th St., Hinsdale, Ill.; and Christopher Walsh and Peter Szczelina of Tandem Architecture, 1040 W. Huron St., Chicago. Citing industry challenges, and declaring that the Petitioner is not asking for more money, Mr. Mitchell related that Holliday purchased the subject site and has put a lot of work into the proposed project, but has encountered a "scary situation," citing inflation and financing difficulties. Saying the developer had "fallen in love" with the McChesney site, Mr. Mitchell related that the Holliday pulled in other architects, as well as trades, to value-engineer the project, to preclude asking for additional TIF funds. He stated that the development will generate significant tax dollars for the Village, and indicated that creative approaches have been hatched to save on construction costs and increase rentable square footage (from 79,799SF to 89,919SF). The approach, explained Mr. Mitchell, entails extending the façade of the second floor to capture square footage from what had been designated as terraced balconies, and replacing these with Juliet balconies, a move, he said, expected to have negligible effect on the unit desirability, according to a market study consultant Holliday engaged. The other variance, stated Mr. Mitchell, is a modification to the foundation structure, due to unanticipated challenges in having to construct below-grade parking in a hole while protecting retaining walls. Necessitating cross-bracing, he said, the approach makes it difficult to get equipment into the work area. He said the development team has worked their "butts off" to deliver the project on time and on budget, and that he is hopeful that the Plan Commission will be receptive to the "modest modifications" proposed.

Commissioner Questions

Commissioner Brown asked the rent range projected for the units, to which Mr. Mitchell replied from \$1,495 to the mid-3,000s. He went on to note that Covid has affected building design, specifically driving more working space opportunities, said EV charges are envisioned, and lauded a collaboration with the Village to yield two "workforce housing units" in the building. Mr. Walsh stated the footprint of the building will not change, nor will the south or east façades. He said some undulation remains on the north façade, and that building colors, trim and windows are the same as previously denoted, and that the units losing balconies would now have dens. Mr. Mitchell estimated that 10,000SF of total living space would be added through the absorption of previously depicted balcony space.

Commissioner Brown asked if the Petitioner had considered tinkering with the south instead of the north façade to assuage any concerns about that might be expressed by residents of The Legacy townhomes. Mr. Mitchell indicated not, explaining that the south façade is considered the most prominent, and insisted that those viewing the north façade will see "a beautiful building," adding that the site is "tricky." Commissioner Vondruska noted that a lot of the public comment that happened originally was on the first renderings, but the design evolved and visually what is currently proposed is not different than what was approved by the Village Board. Commissioner Brown said she understands this, but believes it is helpful to articulate the façade treatment decision, a point Mr. Mitchell said he appreciates. He exclaimed that the Petitioner needs to cheapen up the foundation to save money, pull the façade out, and get going on shifting the risk from general owner to general contractor to subcontractor, in what he called a "very weird environment." Claiming "the volatility is paralyzing," he emphasized that "there's a lot riding on this."

Exhibit B
Ordinance 6834

Commissioner Cooper said he is troubled that the façade push out of the south side of the building, which he argued will create a different appearance in the community. Expressing that the change is in the spirit of what had been presented, Mr. Mitchell said he is saddened to hear the Commissioner's interpretation otherwise, but admitted he's "not trying to say that 9 ft. isn't a big deal." Commissioner Thakkar asked if moving the façade out 9 ft. is saving money or just increasing the potential rents. Mr. Mitchell replied that the action reduces the rents on a per-square-foot basis, but increases it on the whole. And, he continued, while the Petitioner is increasing expense by adding more paint, drywall and trim, it is not increasing the expensive part of the building, and the additional rent helps with financing.

To question from Commissioner Saeed asked about how stormwater is to be managed, Mr. Walsh responded that it will use the existing storm sewer system. Commissioner Vondruska noted that the stormwater component was approved previously, to which Ms. Fard added, no change to the stormwater plan is necessary because the first floor remains unchanged. Acting Chairperson Fanella asked if construction costs less with the flat front. Mr. Mitchell said it actually costs more to build, while Mr. Walsh said they didn't flatten anything, but rather just pulled the façade out 9 ft., and that only balcony railings were pushed back. Mr. Mitchell said that while the inset balconies did create some visual interest, the building is not monolithic."

Planner Fard read into the record the following letter:

Zak Wilson, 716 Crescent Blvd.: *"Why is the motion for the Glenwood Station amendment for approval only? Is there a reason a motion to deny wasn't written up as well?"*

Planner Fard said Staff generally doesn't provide both, but upon request can produce a motion to deny.

The Public Hearing was closed upon a unanimous roll call vote following a motion made by Commissioner Cooper, seconded by Commissioner Vondruska.

Commissioner Discussion

Commissioner Thakkar said he liked the prior design showing an offset at the back of Barone's and Glen Oak restaurants, and that the balconies gave the building more character. Despite the Juliet balconies preserving the some of the aesthetic, he said, he expressed that he is torn on the issue, though given the circumstances, could see his way to approve the variance. Commissioner Brown said she has no problem with the 102 parking spaces, but wants to make sure the Commission doesn't act in haste due to pressure, and that the building is the best it can be. Admitting she is conflicted, as she likes the balconies all the way around, she said she wants to make sure every option has been checked to reach the project's full potential. Also saying she doesn't want to make a decision in haste, Commissioner Arango said she is sorry to see the balconies go, and wondered if not having balconies in a residence affects its desirability.

Commissioner Cooper said he's not troubled by the reduction in parking spaces, and that, while Juliet balconies could be lovely, they change the nature of the design. He said the move seems rushed and that he doesn't think enough the community has been given enough time to weigh in. In that he is somewhat uncomfortable going with what he sees as a substantial change in design at the 11th hour, he said, he's inclined to table the discussion to make sure the community has sufficient notice. Noting that

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the evening's hearing and the pertinent Village Board meeting offer opportunities to elicit feedback, Commissioner Vondruska said it's sad to see the balconies go, but he would not be inclined to vote "No" on the changes. He added that the parking space loss is not a concern to him. Acting Chairperson Fanella stressed that the determination focuses on how the design affects the character of the community. Commissioner Brown wondered if the go-ahead might be given under the condition that the Village Board considers TIF allocation to keep the balconies, to which Chairperson Fanella said this is not in the purview of the Plan Commission, but the suggestion will be noted. After some debate about the implications of the Plan Commission vote on Village Board deliberations and the Petitioner's position, Commissioner Vondruska moved for the following:

After conducting a public hearing and deliberating on the requests of the petitioner, Michael O'Connor, Vice President of Development & Leasing for Holladay Properties, for approval of an amendment to the Special Use for Preliminary and Final Planned Unit Development Plans with an amendment to the parking deviation, to allow the construction of a 5-story, mixed use building with ground floor commercial space, apartments, and an enclosed parking garage on the property located at 464 Glenwood Avenue in the C5B Central Service Subdistrict, the Plan Commission hereby recommends approval based on the findings of fact, as discussed or amended at the Plan Commission public hearing on May 12, 2022, and a copy of which will be attached to the minutes of this meeting and kept on file as part of the permanent records of the Village. The Plan Commission makes this recommendation of approval with the condition that the developers construct, maintain, and operate the development in substantial conformance with the revised plans and testimony presented at the Plan Commission public hearing and before the Village Board of Trustees.

The motion was seconded by Commissioner Brown, and passed unanimously by roll call vote.

Pre-Application – 799 Roosevelt Road – Roosevelt Glen Redevelopment

Staff Presentation

Planner Fard explained that the Pulte Home Co., contract purchaser of the subject property, is presenting a concept for a 99-unit attached row house PUD. To proceed with the project, she continued, the Petitioner will need to receive approval of a Zoning Map Amendment, a Preliminary and Final PUD Plat and Plan with zoning deviations, a Preliminary and Final Plat of Subdivision with variations, and Exterior Appearance. Staff, she said, recommends the Preliminary and Final PUD plans be reviewed as a one-step process. The subject site, she said, consists of four lots, with a total area of 7.16 acres; it is bounded by streets on three sides, including Route 53 to the east, Pershing Avenue to the south, and Nicoll Way to the west, leading to two corner lots, an interior lot, and a landlocked lot with no street frontage. The site is located within the boundaries of the Roosevelt Road TIF district, and is zoned C3 Service Commercial District, she said, adding that the surrounding zoning and land uses are C3, C4 and R4. As part of the proposal, related Planner Fard, the Petitioner requests that the property be rezoned to R4 Residential. Although the attached single-family developments are generally encouraged as a transition between commercial and low-density residential zoning districts, she said, Staff believes there is a great potential to incorporate the northern commercial parcels along Roosevelt Road into the northern portion of the development. Therefore, she said, Staff recommends rezoning only the southern portion of the property along Pershing Avenue to R4 and leaving the northern portion as C3 to support

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existing commercial and office uses, an approach more closely aligned with the Comprehensive Plan. The lot is approximately 305 ft. wide, compliant with the minimum 90 ft. for attached single-family dwellings in R4 district, and has a frontage of 490 ft. along Rte. 53, 590 ft. along Pershing Ave., and 236 along Nicole Way. The current use is office.

The Petitioner, she related, proposes to assemble the four individual parcels to construct 22 freestanding, three-story buildings. Each building would have three to five attached units for a total of 99 row houses on the site. Ms. Fard stressed that an attached single family development with a maximum of six dwelling units per building is permitted in the R4 District. According to the Petitioner, she continued, the size of each proposed unit starts at 2,175SF. Each unit will feature three bedrooms, 2.5 bathrooms and a mix of attached front- and rear-loaded, two-car garages on the first level of the building. Each dwelling unit will have its own private entrance. Dependent upon the unit's location on the site, some driveways are designed longer to allow for additional surface parking, while others would be shorter and only allow access to the garages. Staff, she related, would suggest the petitioner consider increasing the length of the shorter driveways to allow private surface parking for all units.

The proposal calls for maintaining the existing two-way-in, two-way-out access drives on Pershing Avenue and Nicoll Way. Staff notes that the proposed dead-end streets at the east end of the site would create difficulty for car and truck circulation. While these dead ends provide access to the three 4-unit buildings at the east end of the site, they are too narrow to provide sufficient room for vehicles to turn around. Therefore, small cars will need to use the private driveways to turn around, while refuse trucks, snowplows, and fire trucks would likely need to back out of the dead end. Staff suggests the Petitioners consider turnaround strategies that would afford satisfactory access for daily travels, firefighting, snow removal, and refuse collection. As part of the formal project review, the Village's traffic consultant will review access, circulation, and increased traffic generated by the development to determine if the proposed design is appropriate.

Staff considers the two east-west streets at the center and south of the site to be more than 600 feet long and the rest of the street network to be less than 600 feet long. Under the Residential Subdivision Code, local streets with less than 600 feet in length shall have a minimum ROW width of 60 feet, and local streets longer than 600 feet shall have a minimum ROW width of 66 feet. As proposed, it is anticipated that variations from the required ROW width may be needed. Further determination will be made as part of the formal process. All local streets in residential subdivisions shall maintain a minimum pavement width (back of curb to back of curb) of 21 ft. At a minimum, the project would have a pavement width of 18 ft., therefore, a variation will be required. The project is also out of compliance with the density standards in the Zoning Code, as the Code requires a lot area of 4,950SF per unit, which would allow for approximately 50 units on the subject property, while 99 are proposed at 2,521.5SF per dwelling unit. Under the Residential PUD standards, the number of dwelling units permitted per lot may be increased up to 20 percent (equal to an additional 10 dwelling units) if the development offers amenities such as 25 percent open areas, recreational and pedestrian facilities, provision of enclosed structures for 50 percent of all required parking, etc. Of further note, stated Ms. Fard, the draft Comprehensive Plan recommends a total of 48 units (for multi-family apartments) on the site. Therefore, Staff believes that the development as proposed is *too dense*.

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The project is also noncompliant with respect to the maximum allowable floor-area ratio (FAR); the proposed FAR is 0.83 where 0.4 is permitted by Residential PUD standards. As proposed, the Petitioner, she continued, would need to seek approval of deviations from all setback requirements set forth for attached single-family dwellings in the R4 district. Staff would suggest the Petitioner consider revisiting the proposed number of buildings and their arrangement on the site to minimize the number of deviations required for building setbacks; especially in the case of the buildings located at the southeast corner of the site, which maintain only 11 feet of setback from the intersection of IL Rte. 53 and Pershing Ave., where 30 ft. is required. According to the narrative, she continued, every unit would feature a second-story balcony at the back of the building and an open front entry. As proposed, Staff anticipates that the Petitioner would need to receive approval of deviations from setback requirements to construct private front entries and potential patios and balconies. Also, she said, the proposal includes a 300SF optional, habitable attic with a rooftop terrace. With three stories proposed, she added, the Petitioner has indicated that the buildings would not exceed the maximum allowable building height of 45 ft.

The Petitioner, stated Planner Fard, is proposing 34.46 percent and 31.2 percent impervious surface coverage in the western and eastern front yards, respectively, which comply with the impervious surface coverage requirement. An impervious surface setback of 15.23 ft. (5% of lot width) is required on all sides of the site. The front entries/patios located on the southeast corner of the site, near the Rte. 53 and Pershing Avenue intersection, appears to be the closest impervious surface to a property line, with a distance of approximately 4.5 ft. and 5 ft. from the south and east property lines, respectively. On the western edge of the site, the entries and patios are set back 9.9 ft. from the front lot line at the closest point. On the north end of the site, the proposed sidewalks connecting the development to the commercial lots to the north of the site would reduce the impervious surface setback to zero. Therefore, deviations will be needed from impervious surface setback requirements for all sides of the property.

Parking would be provided through a mix of attached two-car garages for all dwelling units (198 spaces), in addition to 88 surface parking spaces on the driveways, two rows of 90-degree visitor parking spaces (10 spaces), and two rows of parallel visitor parking spaces (8 spaces). In total, 304 parking stalls are provided for the development, which translates to a ratio of 3.07 spaces per unit. The proposed parking supply well exceeds the Code requirement of two parking spaces for each dwelling unit. Although compliant in minimum number of parking spaces, Staff would suggest the Petitioner consider more guest parking on the south side of the site. The Preliminary Site Plan does not indicate the location of accessible parking spaces on the site. As part of the formal process, compliance with the Illinois Accessibility Code shall be confirmed.

With respect to open space, said Planner Fard, the PUD standards require that a minimum of 20 percent of the site be maintained as open space. The area of land set aside for common open space shall not be of an isolated or of an unusable size and/or character. The Petitioner has indicated that the development will have 31.4 percent of green space on the site. The amount of common open space has not been provided, but Staff believes the Petitioner would probably be meeting the requirement. With respect to the landscaping, she continued, the preliminary site plan illustrates the addition of trees and some landscape screening for the development. Under Residential PUD standards, a landscape buffer of

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10 feet along all peripheral lot lines is required. It appears that the project may need deviations from this standard. As part of a formal submittal, a landscape plan and tree survey including a variety of trees and plant materials will be required. The development offers amenities such as 31.4 percent of the total site dedicated as green space, landscaped courtyards, enclosed structures for 50 percent of all required parking, an interconnected sidewalk, and benches. The Petitioner, she said, is required to underground all of the public utilities within the corporate limits of the site and as well as the public ROW adjacent. The buildings would be designed to ensure traditional residential character with articulated facades and rooflines and four complementary color schemes providing visual interest. Masonry and fiber-cement siding should prove durable over time. Although the architectural design for the project will be further evaluated by the newly established Architectural Appearance Commission, the Plan Commission may wish to provide feedback on the preliminary elevations. She stated that the Petitioner has indicated that they will not be increasing the amount of impervious surface on the property, therefore it appears that stormwater detention may not be required. Referencing tables listing the variations and deviations, Ms. Fard said that, as it is proposed, it appears the project would require at least 18 deviations from the Zoning Code and 6 variations from the Subdivision Code. She spelled out Plan Commission action.

Commissioner Questions

Thinking that Staff had told the builder the concept was flawed, Commissioner Vondruska seemed bewildered at why the Petitioner still moved forward. Planner Fard replied that, though this case was not hers, she assumed the Commissioner is correct in his assessment as Staff was not fond of the plan – especially the density and zoning change – comments that were shared with the Petitioner. Given the number of things that he sees need to be corrected, citing in particular the proposed positioning of units and traffic concerns, Commissioner Vondruska, said he almost wishes the Petitioner would go back and try again. Acting Chair Fanella asked for confirmation that the Roosevelt Road corridor continues to be the Villages’ “number one source of revenue” in terms of sales tax. Ms. Rodman confirmed that the majority of the Village’s sales tax comes from Roosevelt Road. Acknowledging that she is new to the Commission, Commissioner Arango said that though the Zoning Code should be adhered to, she sensed quickness in the Village to rezone, which she thinks is “disconcerting.” Believing there was a reason the Zoning Code was written in a certain way, she expressed that a change, especially for a property butting up to commercial, makes no sense. Advocating for sticking to principles, she was applauded. Commissioner Vondruska, though, pointed out that feasibility is a consideration in certain cases, but added that the proposed is not manageable, not safe and not esthetically pleasing. Saying the Village needs to grow and change, Commissioner Arango said there is probably a better way to develop the area. Commissioner Cooper asked the current occupancy of the buildings on the property. Planner Fard said she didn’t know. Acting Chair Fanella said she recalls that the owner was moving tenants to a single building so to move forward with redeveloping the parcel. Commissioner Cooper asked how permissibility of an additional 10 units was arrived at. Planner Fard replied that a PUD affords flexibility, if sufficient amenities are provided. Agreeing that the current structures are “not all that visually appealing,” Commissioner Thakkar called the considerations listed and discussed relative to “cramming in” 99 units “non-starters.” He said he’s not opposed to townhouses, but expressed concern about burdening the school district, and other ramifications, and called the plans for the proposed “not being very well drawn up.” Commissioner Arango concurred that the Petitioner has “some homework to do.”

Petitioner's Presentation

Matt Brolley with Pulte reported that currently the builder has 18 active communities in Chicagoland, including several in DuPage County. He said that, while the office buildings on the proposed site are dated, they are not obsolete, and he indicated that the Draft Comprehensive Plan highlights the site's future use as single-family attached. Mr. Brolley asserted that the site is "a great transitional use" in what Pulte is proposing. He said the target consumer group (TCG) for the proposed rowhomes is young professionals who might appreciate the amenities that support a walkable lifestyle, good schools, and the "energy and activity" he identifies with Roosevelt Rd. He maintained that the greater density of the rowhomes makes financial sense. He said that while the internal private roads proposed deviate from Code, an HOA would be established to maintain them. He outlined a mix of front- and rear-loaded units, which he said would be connected by sidewalks to park space and commercial concerns. He pointed to the front entry and patio that he said "kind of enhances the urban neighborhood feel," and described the architecture as more traditional, adding that the siding specified would be offer an upscale appearance.

Commissioner Questions

Commissioner Cooper asked why row houses are envisioned instead of townhouses. Mr. Brolley replied that the location lends itself more to a compact design, with the product specifically aimed at the TCG mentioned. Commissioner Brown asked the price point expected. Mr. Brolley replied that the developer is aiming at about \$500k per unit. Noting the "long list of requests," Acting Chair Fanella asked if a hardship had been identified to justify the volume. Mr. Brolley noted the density and private roads are important deviations for the concept, and said "the R4 zoning standards don't exactly contemplate a rowhome development, thus the laundry list." Commissioner Thakkar asked about the intent of driveway allocation relative to parking. Mr. Brolley said parking would be accommodated on some driveways, but not others. Assuming the setbacks requested are to achieve density, Commissioner Saeed asked if the density could be reduced, as 99 units at 45-ft. height will look like a congested area. Commissioner Thakkar agreed. Mr. Brolley said the units would be more condensed but that he understands the setback concern. Commissioner Brown asked if Mr. Brolley sees the concept as a trend. He replied that on projects on which Pulte is working it is.

Public Input

Saying "density is all about money," Bob Dietch, 705 Kingsbrook Glen, suggested the plan calls for 99 units because it's not 100, and questioned the tax revenue touted. He said the school district is already overcrowded and that vehicle access near the site is limited, and roads are overcrowded and dangerous. He noted that 23 new townhomes have already been approved for Harding Ave, as well as expressed concern about crossing traffic to get to parks or ride bikes, and called the proposed "a horrible idea."

John Skawski, 80 Waters Edge Ct., said that someone who walked along Nicole Way would understand why trying to fit 99 rowhomes in, with its additional traffic, is laughable. He said something like the Kingsbrook and Waters Edge townhomes makes sense in that they would allow for more green space and a healthy environment. Suggesting that the density listed might be a negotiating ploy, Mr. Skawski wondered if a traffic study had been done, and asked that residents in the area be given consideration.

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Bob Johnson, Glengarry Apartments (775-785 Pershing), said that multi-family is a good transitional use on the site, but Pershing is the route from Roosevelt to go southbound on 53, and quite a bit of traffic is already generated in the vicinity. Saying that the project is too dense, he suggested a lower density townhouse product with the northern portion of the site designated for commercial activity.

Norris Eber, 701 Kingsbrook Glen, complained that he didn't receive notice of the meeting, and surmised that the TIF district could equate to fewer tax dollars. He said the traffic in the area is "brutal," and called Taft Avenue "the alternate Roosevelt Road" citing 40-ft. semi-trailers and the Fire Department going "up and down all day long."

Discussion

Commissioner Vondruska said the Petitioner has "a lot of things to overcome" with the concept floated, and that with the traffic issues, it would have to get modified quite a bit to get traction. Commissioner Thakkar also indicated traffic is problematic. While suggesting that no commercial development is on the horizon for the lots, and that it's a perfect location for needed multi-family housing, Commissioner Cooper said that this plan is, however, "too dense." He said row houses are great in old urban areas, but "you're not going to really be able to create the feel of an urban community in that spot." He said the comments on traffic are well placed, and that he is supportive using the space for multi-family housing, but "this is not the project" he would envision there. Declaring that Glen Ellyn is not an urban neighborhood, Acting Chair Fanella cited Maryknoll, with its walking paths, as an example of a successful development that integrates into the community. She identified the rezoning and density requests as the two big issues. She said she has concerns about rezoning the entire parcel to residential, citing a need to be protective of the Roosevelt Road corridor tax base. She recommended a traffic study to proceed and identified the need for a plan for sidewalks and trees. Noting that Glen Ellyn is meeting affordable housing levels, she advocated increasing commercial activity, especially abutting Roosevelt.

Trustee's Report

Trustee Thompson reported that the Village Board would be conducting a workshop Monday on the Draft Comprehensive Plan; the Ad Hoc group is to continue to meet about the Roosevelt Road hotel site, for which charrette dates have been floated; the Panfish Park committee continues to meet and provide suggestions; and the streetscape project continues to move forward.

Staff Report

Planner Fard said the next meeting is likely to feature a pre-app for a mixed-use building along Forest Avenue.

Adjournment

Acting Chairperson Fanella adjourned the meeting at 9:40 p.m., following passage by voice vote of a motion to adjourn made by Commissioner Vondruska and seconded by Commissioner Arango.

Respectfully submitted,

Barbara Dutton-Thomas
Recording Secretary



Table with 2 columns: 'Maximum of Parking Spaces Provided in the Area Traffic' and 'Available Parking Spaces'. Rows include 'Total', 'On-site', 'Off-site', and 'Total'.

Site Data

| | |
|---------------------|--------------------------------------|
| Site | 35,060 SF/70.80 acres |
| Main Building | 144,827 GSF |
| Building Height | 5 stories + 1 ft below grade/ 66'-8" |
| Dwelling Units | 86 units |
| Retail | 1,490 SF |
| Residential Parking | 104 spaces |

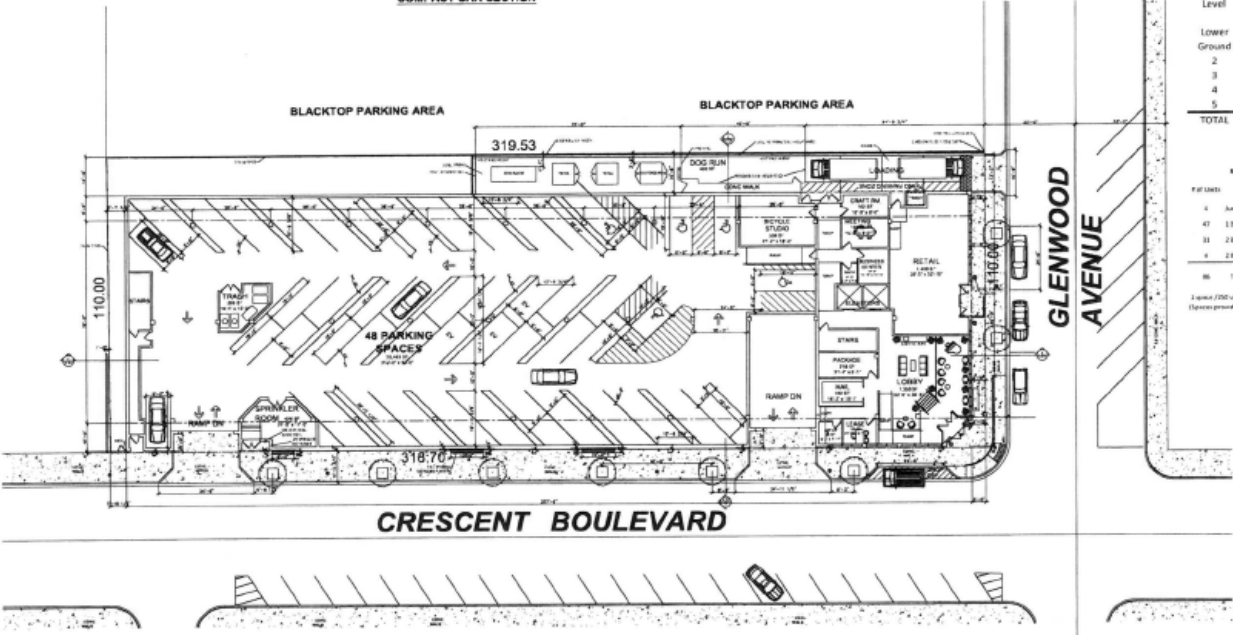
Building Square Footage

| Level | Total Square Footage Per Floor | Leasable Square Footage |
|--------------|--------------------------------|-------------------------|
| Lower | 25,393 | 0 |
| Ground | 28,089 | 1,525 |
| 2 | 22,885 | 18,223 |
| 3 | 22,520 | 20,120 |
| 4 | 22,520 | 20,120 |
| 5 | 22,520 | 20,120 |
| TOTAL | 144,827 | 80,108 |

Required Parking Per Code

| # of Units | Unit Type | Parking/Unit | Code | Total Parking |
|------------|--------------------|--------------|------|---------------|
| 4 | Accessory Unit | 1/12 | A | 4 |
| 47 | 1 Bedroom | 1/12 | B1 | 47 |
| 31 | 2 Bedrooms | 1/12 | B2 | 31 |
| 4 | 2 BR + Den | 1/12 | B3 | 4 |
| 86 | TOTAL UNITS | | | 105 |
| | | | | 105 |

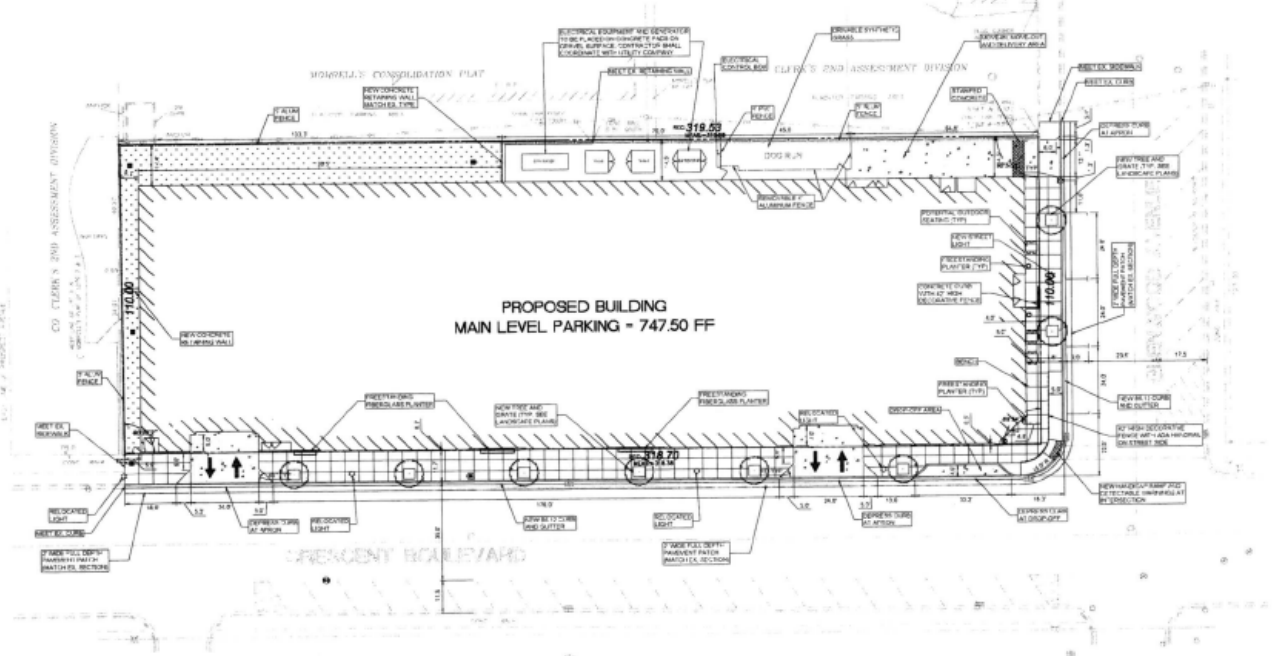
2 spaces / 200 square feet of below floor area (2555/200) = 12.775
(Spaces provided for apartments = 3.20 units)



**MAIN PARKING / STREET LEVEL
PLANNED UNIT DEVELOPMENT PLAN**

Ordinance 6834

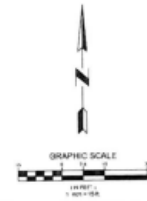




| SITE PAVING LEGEND | |
|--------------------|---|
| | CONCRETE PAVEMENT # 4 AC CONCRETE PAVEMENT # 4 AC PRECAST CURB & GUTTER |
| | ASPHALT PAVEMENT # 4 AC CONCRETE PAVEMENT # 4 AC PRECAST CURB & GUTTER |
| | COMMON OPEN AREA SURFACE |

- GENERAL NOTES**
1. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
 2. ALL CURB SHALL BE 6" TO 12" CURB AND GUTTER.
 3. ALL SIDEWALK SHALL BE COMBINATION SIDEWALK AND BARRIER SIDEWALK SHALL BE BARRIERSIDEWALK. REFER TO THE DETAIL.
 4. ALL SIDEWALK SHALL BE 4" MINIMUM THICKNESS WITH 2" MINIMUM CURB. REFER TO THE DETAIL.
 5. ALL SIDEWALK SHALL BE 4" MINIMUM THICKNESS WITH 2" MINIMUM CURB. REFER TO THE DETAIL.
 6. ALL SIDEWALK SHALL BE 4" MINIMUM THICKNESS WITH 2" MINIMUM CURB. REFER TO THE DETAIL.
 7. ALL SIDEWALK SHALL BE 4" MINIMUM THICKNESS WITH 2" MINIMUM CURB. REFER TO THE DETAIL.
 8. ALL SIDEWALK SHALL BE 4" MINIMUM THICKNESS WITH 2" MINIMUM CURB. REFER TO THE DETAIL.
 9. ALL SIDEWALK SHALL BE 4" MINIMUM THICKNESS WITH 2" MINIMUM CURB. REFER TO THE DETAIL.
 10. ALL SIDEWALK SHALL BE 4" MINIMUM THICKNESS WITH 2" MINIMUM CURB. REFER TO THE DETAIL.

| SITE DATA | |
|----------------------------------|---------------------|
| TOTAL SITE AREA | 15,100 SF ± 0.35 AC |
| TOTAL BUILDING FOOTPRINT AREA | 36,000 SF |
| TOTAL PAVED AREA | 10,000 SF |
| TOTAL COMMON OPEN AREA | 2,700 SF |
| PARKING PROVIDED WITHIN BUILDING | 48 SPACES |
| MIN. PARKING SPACES | 48 SPACES |
| COMMON PARKING LEVEL | 1.36 SPACES |



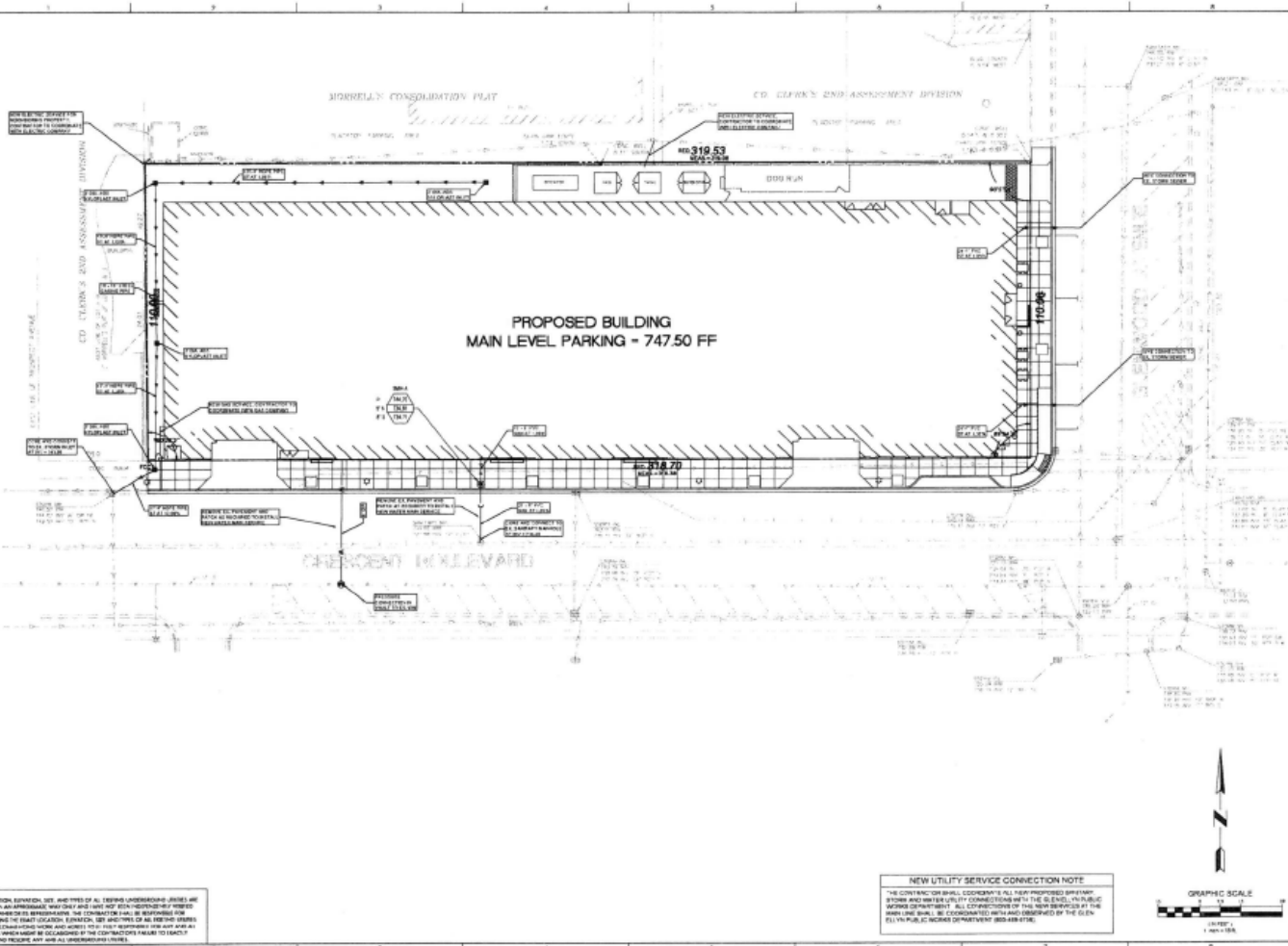
CIVILWORKS Consulting, LLC

SITE DIMENSIONAL AND PAVING PLAN
GLENWOOD STATION
440 CRESCENT BOULEVARD, GLEN ELLYN, IL 60137

SHEET NO. C3.0

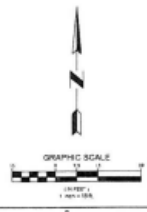
DATE: 11/15/2017
SCALE: AS SHOWN
PROJECT: GLENWOOD STATION
DRAWN BY: J. SMITH
CHECKED BY: J. SMITH
APPROVED BY: J. SMITH

Latitude
Ordinance 6834



NOTE:
THE LOCATION, DEPTH, SIZE, AND TYPES OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATION AND HAVE NOT BEEN VERIFIED BY FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, DEPTH, AND TYPES OF ALL EXISTING UTILITIES. ANY DISCREPANCIES SHOULD BE REPORTED TO THE DESIGNER IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL PUBLIC UTILITIES AGENCIES AND THE CITY OF GLENVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL PUBLIC UTILITIES AGENCIES AND THE CITY OF GLENVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

NEW UTILITY SERVICE CONNECTION NOTE
THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL PUBLIC UTILITIES AGENCIES AND THE CITY OF GLENVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL PUBLIC UTILITIES AGENCIES AND THE CITY OF GLENVIEW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

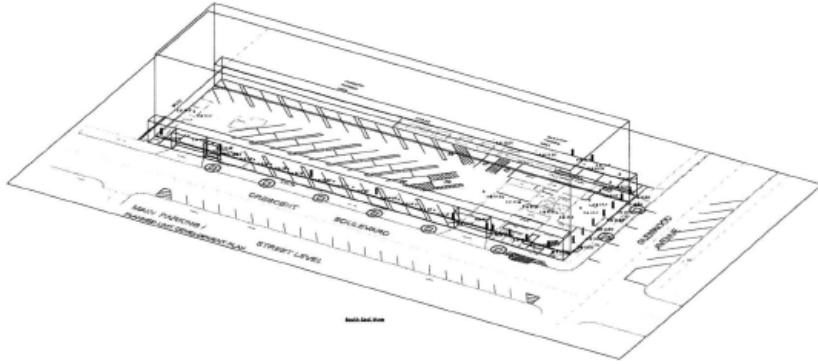
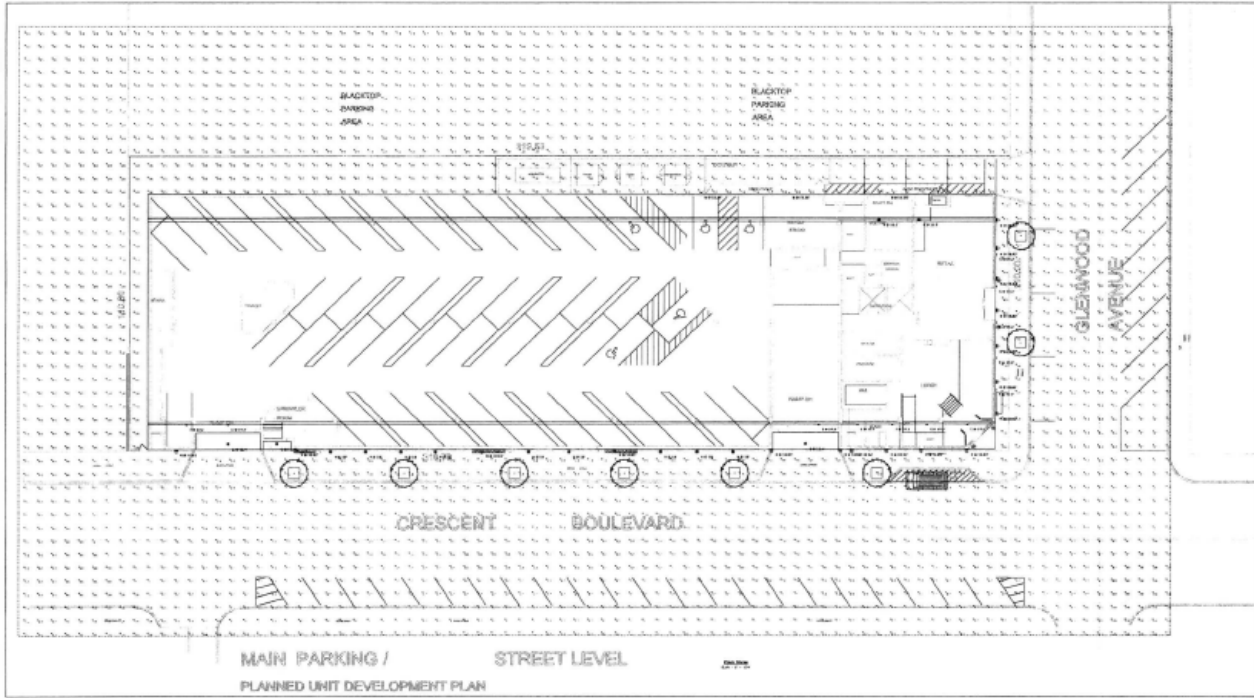


CIVIL WORKS CONSULTING, LLC
 460 CRESCENT BOULEVARD, GLENVIEW, IL 60137
 PHONE: (708) 441-1111
 FAX: (708) 441-1112
 WWW.CIVILWORKS-CONSULTING.COM

SITE UTILITY PLAN
 GLENWOOD STATION
 460 CRESCENT BOULEVARD, GLENVIEW, IL 60137

SHEET NO. C4.0

Exhibit "H"



| NO. | DESCRIPTION | DATE | BY | CHKD. | APP'D. | REVISIONS |
|-----|-----------------------|------------|-----|-------|--------|-----------|
| 1 | ISSUED FOR PERMITTING | 08/14/2014 | ... | ... | ... | ... |
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| Notes |
| Type |

FEATURES & SPECIFICATIONS

INTENDED USE — The OLCFM provides years of maintenance-free general illumination for residential and commercial outdoor applications such as porches, covered walkways and store entrances.

CONSTRUCTION — Rugged cast-aluminum top-plate and outer-ring are protected by a thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

Polycarbonate LED lens/cover protects LEDs.

Fixture weight = 2.98 lbs.

OPTICS — 96 high-performance LEDs produces up to 1077 lumens and maintain 70% of light output at 50,000 hours of service.

(LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)

White acrylic diffuser provides a soft white light at 4000K CCT

See Lighting Facts Labels for specific fixture performance.

ELECTRICAL — Fixture operates at 120 volts, 60 Hz.

Standard input = 16.6 watts

Operating temperature -40°C to 40°C.

Amps @ 120V = .131.

Surge protection = 2.5kV.

INSTALLATION — Mounts easily to existing junction box (by others).

LISTINGS — UL Listed to U.S. and Canadian safety standards for wet locations.

Designed for ceiling or wall mounting more than 4' above the ground.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Note: Specifications subject to change without notice.



Outdoor General Purpose

OLCFM

OUTDOOR LED CAST FLUSH MOUNT



All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

All configurations of this product are considered "standard" and have short lead times.

Example: OLCFM 15 DDB

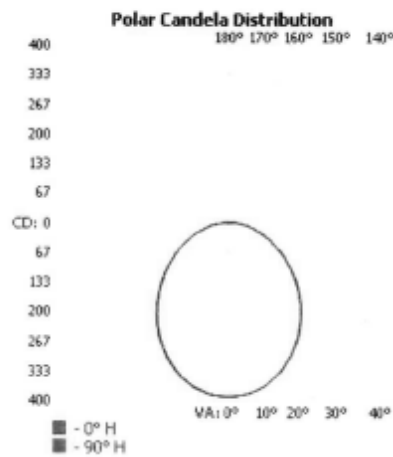
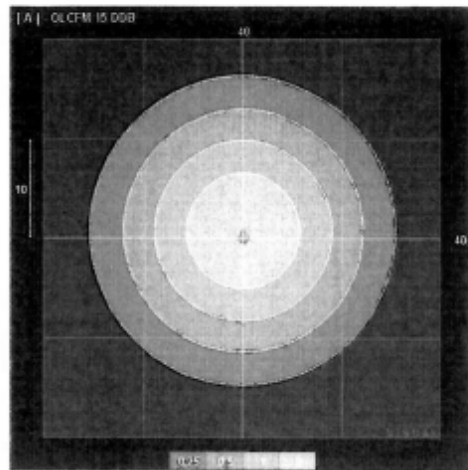
| | | | | |
|---------------|---------------------|--|----------------|-----------------------------|
| OLCFM | | | | |
| Series | Light Engine | Color Temperature (CCT)¹ | Voltage | Finish |
| OLCFM | 15 | (blank) 4000K | (blank) 120V | DDB Dark bronze WH White |

Notes

1 Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.

PHOTOMETRIC DIAGRAMS

To see complete photometric reports or download .ies files for this product, visit www.lithonia.com. Tested in accordance with IESNA LM879 and LM830 standards.

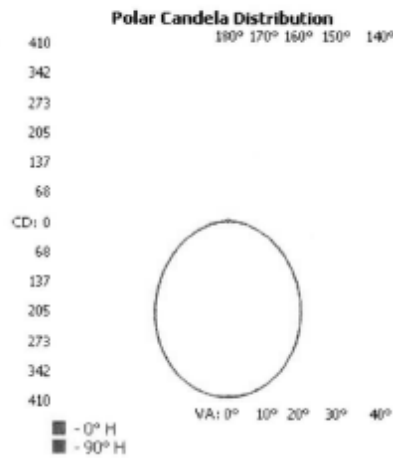
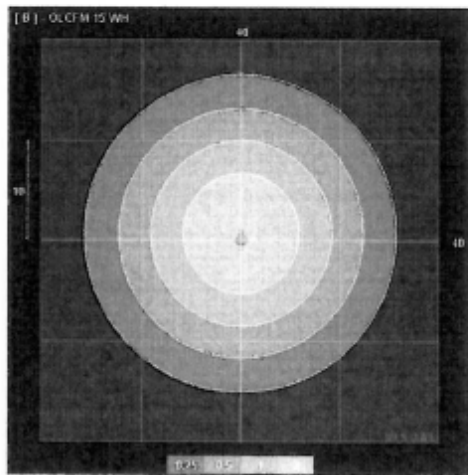


LED lighting facts
A Program of the U.S. DOE

| | |
|---|---------------------|
| Light Output (Lumens) | 1029 |
| Watts | 16.6 |
| Lumens per Watt (Efficacy) | 61 |
| Color Accuracy Color Rendering Index (CRI) | 85 |
| Light Color Correlated Color Temperature (CCT) | 3995 (Bright White) |

2700K 3000K 4000K Daylight 5000K

Visit www.lightingfacts.com for the Label Reference Guide.



LED lighting facts
A Program of the U.S. DOE

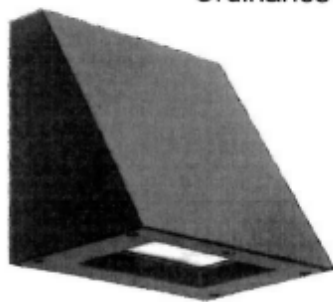
| | |
|---|---------------------|
| Light Output (Lumens) | 1077 |
| Watts | 16.6 |
| Lumens per Watt (Efficacy) | 64 |
| Color Accuracy Color Rendering Index (CRI) | 85 |
| Light Color Correlated Color Temperature (CCT) | 3969 (Bright White) |

2700K 3000K 4000K Daylight 5000K

Visit www.lightingfacts.com for the Label Reference Guide.



OLCFM



WEDGE1 LED

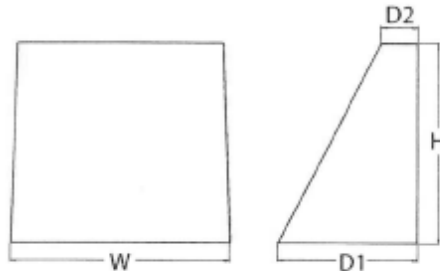
Architectural Wall Sconce



| |
|----------------|
| Catalog Number |
| Notes |
| Type |

Specifications

- Depth (D1):** 5.5"
- Depth (D2):** 1.5"
- Height:** 8"
- Width:** 9"
- Weight:** 9 lbs
(without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WEDGE LED Family Overview

| Luminaire | Standard EM, 0°C | Cold EM, -20°C | Sensor | Lumens (4000K) | | | | | |
|------------|------------------|----------------|---------------------|----------------|--------|--------|--------|--------|--------|
| | | | | P1 | P2 | P3 | P4 | P5 | P6 |
| WEDGE1 LED | 4W | -- | -- | 1,200 | 2,000 | -- | -- | -- | -- |
| WEDGE2 LED | 10W | 18W | Standalone / nLight | 1,200 | 2,000 | 3,000 | 4,500 | 6,000 | -- |
| WEDGE3 LED | 15W | 18W | Standalone / nLight | 7,500 | 8,500 | 10,000 | 12,000 | -- | -- |
| WEDGE4 LED | -- | -- | Standalone / nLight | 12,000 | 16,000 | 18,000 | 20,000 | 22,000 | 25,000 |

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

| Series | Package | Color Temperature | CRI | Distribution | Voltage | Mounting |
|------------|----------|------------------------|----------------|---|---------------------------|--|
| WEDGE1 LED | P1 P2 | 27K 2700K | 80CRI 90CRI | VF Visual comfort forward throw VW Visual comfort wide | MVOLT 347 ² | Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer BBW Surface-mounted back box PBBW Premium surface-mounted back box (top, left, right conduit entry) |
| | | 30K 3000K | | | | |
| | | 35K 3500K | | | | |
| | | 40K 4000K | | | | |
| | | 50K ¹ 5000K | | | | |

| Options | Finish |
|---|----------------------------------|
| E4WH ³ Emergency battery backup, CEC compliant (4W, 0°C min) | DDBXD Dark bronze |
| PE ⁴ Photocell, Button Type | DBLXD Black |
| DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details) | DNAXD Natural aluminum |
| DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) | DWHXD White |
| BCE Bottom conduit entry for premium back box (PBBW). Total of 4 entry points. | DSSXD Sandstone |
| | DDBTXD Textured dark bronze |
| | DBLTXD Textured black |
| | DNATXD Textured natural aluminum |
| | DWHGXD Textured white |
| | DSSTXD Textured sandstone |

Accessories

Ordered and shipped separately.

- WEDGEAWS DDBXD U WEDGE 3/8inch Architectural Wall Spacer (specify finish)
- WEDGE1PBBW DDBXD U WEDGE1 Premium surface-mounted back box (specify finish)
- WSRBBW DDBXD U Surface-mounted back box (specify finish)

NOTES

- 1 50K not available in 90CRI
- 2 347V not available with E4WH, DS or PE
- 3 E4WH not available with PE or DS
- 4 PE not available with DS
- 5 Not qualified for DLC. Not available with E4WH.



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WEDGE1 LED
 Rev. 04/15/20

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Performance Package | System Watts | lm Type | 27K (2700K, 90CRI) | | | | | 30K (3000K, 90CRI) | | | | | 35K (3500K, 90CRI) | | | | | 40K (4000K, 90CRI) | | | | | 50K (5000K, 90CRI) | | | | |
|---------------------|--------------|---------|--------------------|-----|---|---|---|--------------------|-----|---|---|---|--------------------|-----|---|---|---|--------------------|-----|---|---|---|--------------------|-----|---|---|---|
| | | | Lumens | FPW | B | U | C | Lumens | FPW | B | U | C | Lumens | FPW | B | U | C | Lumens | FPW | B | U | C | Lumens | FPW | B | U | C |
| P1 | 10W | VF | 1,120 | 112 | 0 | 0 | 0 | 1,161 | 116 | 0 | 0 | 0 | 1,194 | 119 | 0 | 0 | 0 | 1,227 | 123 | 0 | 0 | 0 | 1,235 | 123 | 0 | 0 | 0 |
| | | VW | 1,122 | 112 | 0 | 0 | 0 | 1,163 | 116 | 0 | 0 | 0 | 1,196 | 120 | 0 | 0 | 0 | 1,229 | 123 | 0 | 0 | 0 | 1,237 | 124 | 0 | 0 | 0 |
| P2 | 15W | VF | 1,806 | 120 | 1 | 0 | 0 | 1,872 | 125 | 1 | 0 | 0 | 1,925 | 128 | 1 | 0 | 0 | 1,978 | 132 | 1 | 0 | 0 | 1,992 | 133 | 1 | 0 | 0 |
| | | VW | 1,809 | 120 | 1 | 0 | 0 | 1,876 | 125 | 1 | 0 | 0 | 1,929 | 128 | 1 | 0 | 0 | 1,982 | 132 | 1 | 0 | 0 | 1,996 | 133 | 1 | 0 | 0 |

Electrical Load

| Performance Package | System Watts | Current (A) | | | | |
|---------------------|--------------|-------------|-------|-------|-------|-------|
| | | 120V | 208V | 240V | 277V | 347V |
| P1 | 10W | 0.082 | 0.049 | 0.043 | 0.038 | -- |
| | 13W | -- | -- | -- | -- | 0.046 |
| P2 | 15W | 0.132 | 0.081 | 0.072 | 0.064 | -- |
| | 18W | -- | -- | -- | -- | 0.056 |

Lumen Multiplier for 90CRI

| CC | Multiplier |
|-----|------------|
| 27K | 0.845 |
| 30K | 0.867 |
| 35K | 0.845 |
| 40K | 0.885 |
| 50K | 0.898 |

Lumen Output in Emergency Mode (4000K, 80 CRI)

| Option | lm Type | Lumens |
|--------|---------|--------|
| E4WH | VF | 646 |
| | VW | 647 |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | | Lumen Multiplier |
|---------|-------|------------------|
| 0°C | 32°F | 1.03 |
| 10°C | 50°F | 1.02 |
| 20°C | 68°F | 1.01 |
| 25°C | 77°F | 1.00 |
| 30°C | 86°F | 0.99 |
| 40°C | 104°F | 0.98 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | >0.96 | >0.95 | >0.91 |



Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WEDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

- 0.25 fc
- 0.5 fc
- 1.0 fc
- 3.0 fc

- 3MH
- 2MH
- 1MH

MH = 8ft
Grid = 8ft x 8ft



WEDGE1 LED P2 40K 80CRI VW



WEDGE1 LED P2 40K 80CRI VF

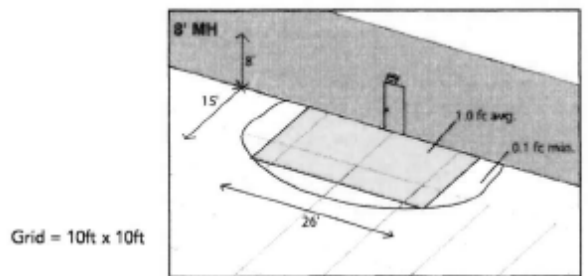
Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

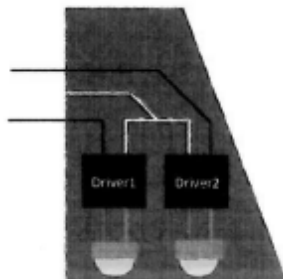


WEDGE1 LED xx 40K 80CRI VF MVOLT E4WH

Dual Switching (DS) Option

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9



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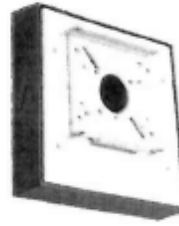
WEDGE1 LED
Rev. 04/15/20

**E4WH – 4W Emergency Battery Backup**

D = 5.5"

H = 8"

W = 9"

**PBBW – Premium Back Box**

D = 1.75"

H = 8"

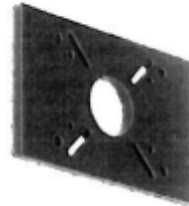
W = 9"

**BBW – Standard Back Box**

D = 1.5"

H = 4"

W = 5.5"

**AWS – 3/8inch Architectural Wall Spacer**

D = 0.38"

H = 4.4"

W = 7.5"

FEATURES & SPECIFICATIONS**INTENDED USE**

Common architectural look, with clean rectilinear shape, of the WEDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well-crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WEDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built-in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

WARRANTY

5-year limited warranty. Complete warranty terms located at:

www.designlights.com/warranty-terms

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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 WEDGE1 LED
 Rev 04/15/20

Wall luminaires for light in two directions

Housing: One Piece, die cast aluminum housing with a one piece, die cast aluminum mounting plate. The mounting plate is supplied with a flat plate that mounts directly to a standard, recessed 4" octagonal wiring box. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Enclosure: Clear tempered glass diffusers, the top diffuser with a machined step to provide a flush finish with the cast housing. Two reflectors provided are anodized aluminum. Housing is secured to the mounting plate with a single, mechanically captive, stainless steel set screw.

Electrical: 33.0W LED luminaire, 38.4 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

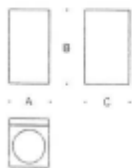
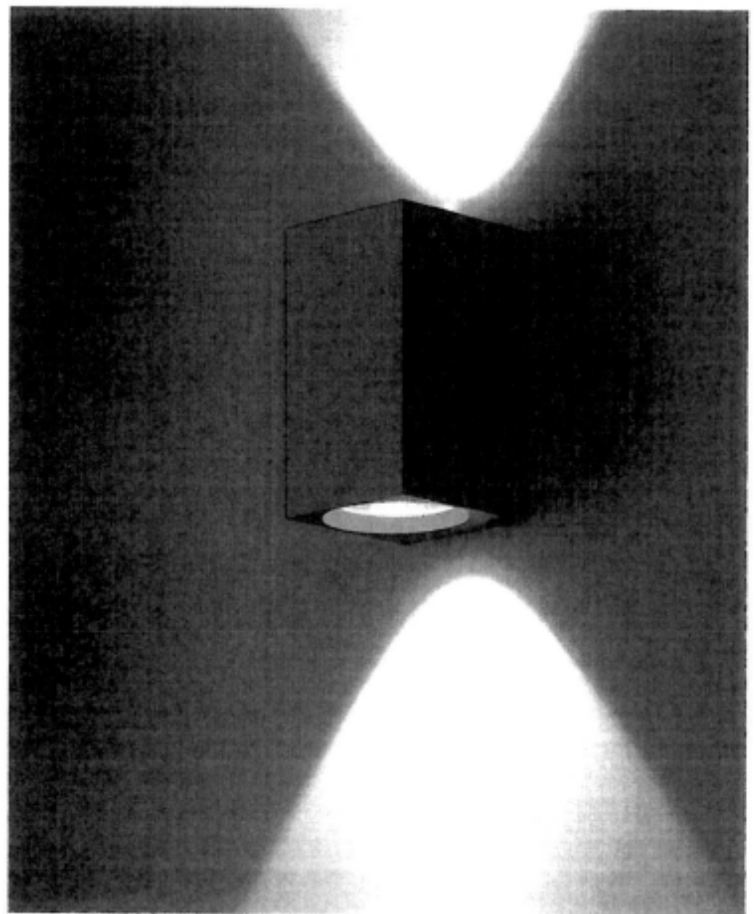
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards for wet locations. Protection class IP64

Weight: 7.3 lbs.

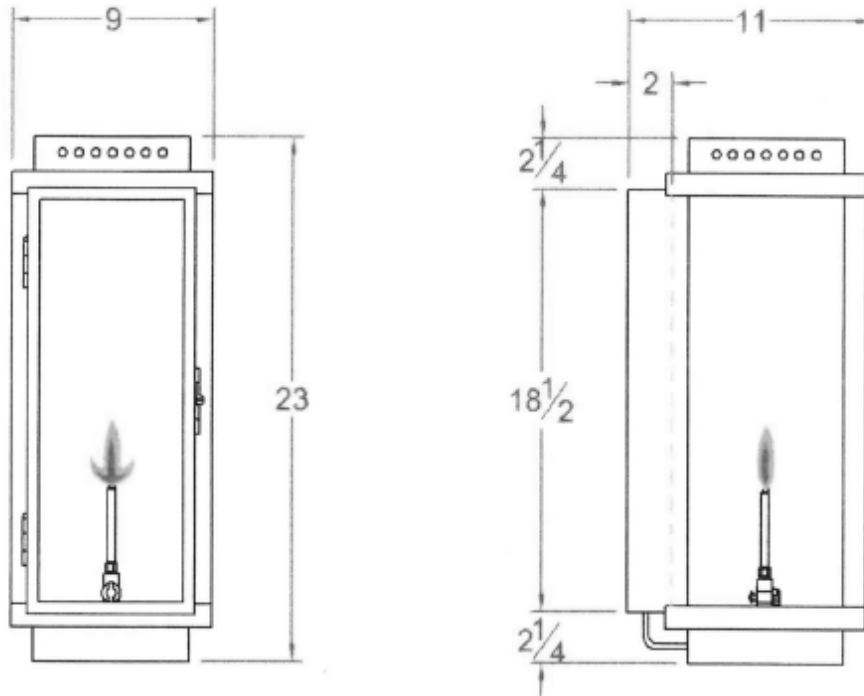
Luminaire Lumens: 3031

Type: BEGA Wall Luminaire
 BEGA Product: 24 593
 Project:
 Voltage:
 Color: Black
 Options:
 Modified:



SAN MARCO - GAS LANTERN - CUSTOM MADE, TO ORDER

DIMENSIONS: 9" W x 23" H x 11" D
NATURAL GAS OPERATION
ELECTRONIC IGNITION
OFFSET WALL BOX
CONSTRUCTION: SOLID COPPER & TRANSPARENT GLASS
FINISH: BLACK HEAT-RESISTANT PAINT



LINE DRAWING
 _____ APPROVED
 _____ RESUBMIT W/ CHANGES

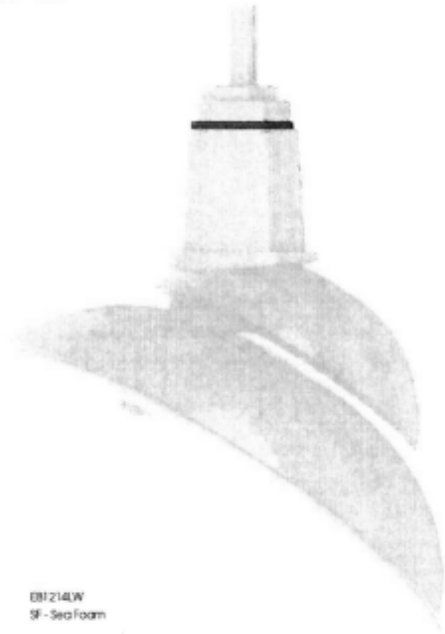
 YOUR INITIALS _____
 DATE

gaslanternsandlights.com
 Sheryl Stringer
 sherylstringer@me.com



EMBLEM SIGN
WET LOCATION
EXTERIOR - SIGN LIGHTS

PROJECT: _____
 TYPE: _____



EB1214LW
 SF - Sea Foam



EB1214LW
 PL - Purple



EB1214LW
 PT - Platinum Silver



EB1214LW
 RD - Red Boron

| SERIES | LUMENS ¹ | CCT | DRIVER / DIMMING ² | ACCESSORIES ³ | MOUNTING ⁷ | FINISH ¹⁴ |
|-----------------|---------------------|------------------------|---|---|--|--|
| EB0709LW | 15L 1500 Lm | 27K 2700K | EX Electronic Driver, 120V/277V | TF1⁶ 3" Frosted Dome | WALL MOUNT CP104⁵ Small Driver Canopy CP106⁵ Large Driver Canopy CP6/RMD Remote Mount Driver PA⁹ Mounting Arm Style CEILING MOUNT RDC5 Small Driver Canopy CP13 Large Driver Canopy PM¹⁰⁽¹¹⁾ Rigid Pendant Mount HM¹⁰⁽¹¹⁾⁽¹²⁾ Hang Straight EMCR¹³ 10W Large Driver Canopy EM EMRM 7W Remote EM EMEN 7W Remote with Enclosure | MW⁸ Matte White MB⁸ Matte Black PT⁸ Platinum Silver CC Custom Color See Page 5 for Full Range of Color Options (83-90085) |
| EB0910LW | 27L 2700 Lm | 30K 3000K | DS10X 10%, 0-10V, 120V/277V | TG1 3" Dome Wire Guard | | |
| EB1214LW | | 35K 3500K 40K 4000K | DO10X¹ 1%, 0-10V, 120V/277V DS2W1 ELV/MLV, 120V DLTE1⁴ Lutron [®] 2-Wire Forward Phase (MLV), 120V DL3EX⁴ 1%, Lutron [®] EcoSystem [®] , Fades to Black, 120V/277V | MF1 3" Frosted Mini MG1 3" Short Wire Guard FJ1 3" Frosted Tall FG1 3" Tall Wire Guard | | |

EXAMPLE: EB1214LW15L35KEXFJ1/CP104PA36BL

NOTES:

- 1 Nominal Source Lumens at 35K 2 Contact Factory for Additional Options 3 Available with CP106/RDC5/CP13 Only 4 Available with CP105/CP13 Only
- 5 See Enclosures & Guards Page for Wire Guards and Additional Options 6 Standard Enclosure 7 See Mounting Page for Details on Components and Finishes
- 8 Contact Factory for Knock Out Holes 9 See Mounting Page for Available Arm Options 10 Specify Length in Inches; See Mounting Page for Available Lengths
- 11 Intended for Outdoor Covered Ceiling Applications Only 12 Not for Use in Locations with Wind Exposure 13 EMCR Replaces RDC5 or CP13
- 14 See Color Page for More Options/Consult Factory for Special Finishes 15 Standard Finishes

Dimensions and values shown are nominal. Spectrum Lighting continually works to improve products and reserves the right to make changes which may alter the performance or appearance of products.





**EMBLEM SIGN
WET LOCATION
EXTERIOR - SIGN LIGHTS**

| LUMENS / WATTAGE DATA | | | | |
|-----------------------|----------------------------|-------------------------------|--------------|-----|
| PART NUMBER | SOURCE LUMENS ¹ | DELIVERED LUMENS ² | SYSTEM WATTS | LPW |
| EB1214LW15L | 1500 | 1251 | 10 | 125 |
| EB1214LW27L | 2700 | 2184 | 18 | 121 |

¹ Nominal Source Lumens at 35K ² Nominal Delivered Lumens at 35K

HOUSING DIMENSIONS



Dimensioned with EB1214LW

| SERIES | A | B |
|----------|------|------|
| EB0709LW | 7.1 | 9.7 |
| EB0910LW | 8.8 | 9.8 |
| EB1214LW | 12.4 | 12.1 |

APPLICATION

Emblem Sign light is perfect for a variety of sign and surface lighting applications. LW Series is designed for outdoor wet locations.

FEATURES

Spectrum Lighting's RLM Classics are inspired by vintage lighting fixtures redesigned with modern LED light sources and materials. The wide range of options for illumination, mounting, enclosures, guards and finishes allows for creative fixture specification and design. LED module and driver are serviceable for future replacement. Available in three sizes.

FINISH

Multi-stage polyester powder-coat process applied on our dedicated paint lines. Variety of standard and custom finishes are available. Interior is Matte White unless specified.

ELECTRONICS

LW LED system features high brightness white Samsung LED's. 3-step MacAdam Ellipse binning. Standard CRI: 80+. Higher CRI, R9 and custom LED configurations are available; consult factory. Choice of electronic: 120V/277V and dimming drivers.

CONSTRUCTION

Fixture shades are spun in our factory from 0.063 high purity aluminum. Wall mount canopies are die-cast aluminum with stainless steel hardware. Wall arms are formed 3/4 NPT aluminum pipe and may be field cut.

CODE COMPLIANCE

BAA compliant. ETL certified to meet US and Canadian standards. Suitable for outdoor wet locations. Manufactured and tested to UL standards No. 1598/8750.

SERIES SIZES

EB0709LW



EB0910LW



EB1214LW



WALL MOUNT

(SEE MOUNTING PAGES FOR MORE OPTIONS & DIMENSIONS.)

PA
MOUNTING ARM STYLE

CEILING MOUNT

(SEE MOUNTING PAGES FOR MORE OPTIONS & CANOPY DIMENSIONS.)

HM / PM
HANG STRAIGHT / PENDANT



EB1214LW SHOWN WITH CP10PFA23



EB1214LW SHOWN WITH RDC3PM





EMBLEM SIGN
WET LOCATION
EXTERIOR - SIGN LIGHTS / PHOTOMETRIC DATA

EB1214GV-27L-35K-EX-TF1-MWI

| CANDLEPOWER CURVE | INTENSITY | ZONAL LUMENS | SINGLE UNIT PERFORMANCE INITIAL FOOTCANDLES BASED ON CEILING HEIGHT | | | | MULTIPLE UNIT PERFORMANCE INITIAL FOOTCANDLES INITIAL FOOTCANDLES AND WATS PER SQUARE FOOT | | | | | | | | |
|---|---|---|---|-----------------------|---------------|-----------------|--|-----------------|------------------------------------|--|-------|----|------|----|------|
| | | | Mounting Height A/F | FC of Center on Floor | Beam Diameter | FC at Beam Edge | Ceiling Height | Fixture Spacing | RCR 2 | | RCR 4 | | | | |
| | 0.00° | 920 | 0° - 10° | 89 | 4% | 5.50' | 30 fc | 9.8' | 10 fc | 8" | 8" | 25 | 0.24 | 20 | 0.24 |
| | 5.00° | 919 | 0° - 20° | 336 | 15% | 6.50' | 22 fc | 11.6' | 7 fc | 12" | 10" | 22 | 0.20 | 17 | 0.20 |
| | 10.00° | 917 | 0° - 30° | 649 | 30% | 7.50' | 16 fc | 13.4' | 5 fc | 15" | 12" | 14 | 0.14 | 7 | 0.07 |
| | 15.00° | 908 | 0° - 40° | 977 | 45% | 8.50' | 13 fc | 15.2' | 4 fc | Delivered Illuminance Rating (DIR) | | | | | |
| | 20.00° | 891 | 0° - 60° | 1,589 | 73% | 10.00' | 9 fc | 17.9' | 3 fc | 106 FC per W/Sq. Ft. 54 FC per W/Sq. Ft. | | | | | |
| | 30.00° | 840 | 0° - 80° | 1,928 | 86% | 12.00' | 6 fc | 21.4' | 2 fc | Z Suspension Length | | | | | |
| | 40.00° | 761 | 0° - 90° | 2,018 | 92% | 14.00' | 5 fc | 25.0' | 1 fc | Square rooms used for multiple units: | | | | | |
| | 50.00° | 651 | Total | 2,183 | 100% | 16.00' | 4 fc | 28.6' | 1 fc | - RCR 2: Length & Width = Ceiling Ht. - 4.5 x 5.00 | | | | | |
| | 60.00° | 523 | | | | | | | | - RCR 4: Length & Width = Ceiling Ht. - 4.5 x 2.50 | | | | | |
| | 70.00° | 422 | | | | | | | | * Average Footcandles at 2.5' Above Floor | | | | | |
| | 80.00° | 342 | | | | | | | | - Exceeds spacing criteria by 69% | | | | | |
| | 90.00° | 291 | | | | | | | | - Exceeds spacing criteria by -1% | | | | | |
| | | | | | | | | | - Exceeds spacing criteria by -23% | | | | | | |
| Output Lumens: 2,183 Output Watt: 18 Effic: 121.28 | Total Lumens: 920 Effic: 85+ | Beam Angle: 93.07 Spillage Ratio: 1.35 | Output Lumens: 131 x 0.573 Output Watt: 276 x 0.971, 30K x 0.965, 40K x 1.03 | | | | | | | | | | | | |



MOUNTING & ACCESSORIES

SOME OPTIONS NOT AVAILABLE ON ALL FIXTURES. CONSULT SPECIFICATION SHEETS. SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION. NOTE: THIS IS TYPICAL OF RLM SPECIFICATION FOR MOUNTING. INDIVIDUAL FIXTURES OR PROJECTS MAY HAVE SPECIALIZED REQUIREMENTS.



ENCLOSURES UP TO 27L

- TF1** 3" FROSTED DOME
- MF1** 3" FROSTED MINI
- FJ1** 3" FROSTED TALL



ENCLOSURE WIRE GUARDS UP TO 27L

- TG1** 3" FROSTED DOME WIRE GUARD - FITS TF1
- MG1** 3" FROSTED MINI WIRE GUARD - FITS MF1
- FG1** 3" FROSTED TALL WIRE GUARD - FITS FJ1



WALL MOUNTING

CP104 - SMALL DRIVER CANOPY (STANDARD)
MAY BE USED AS SPICE BOX FOR DIRECT FEED



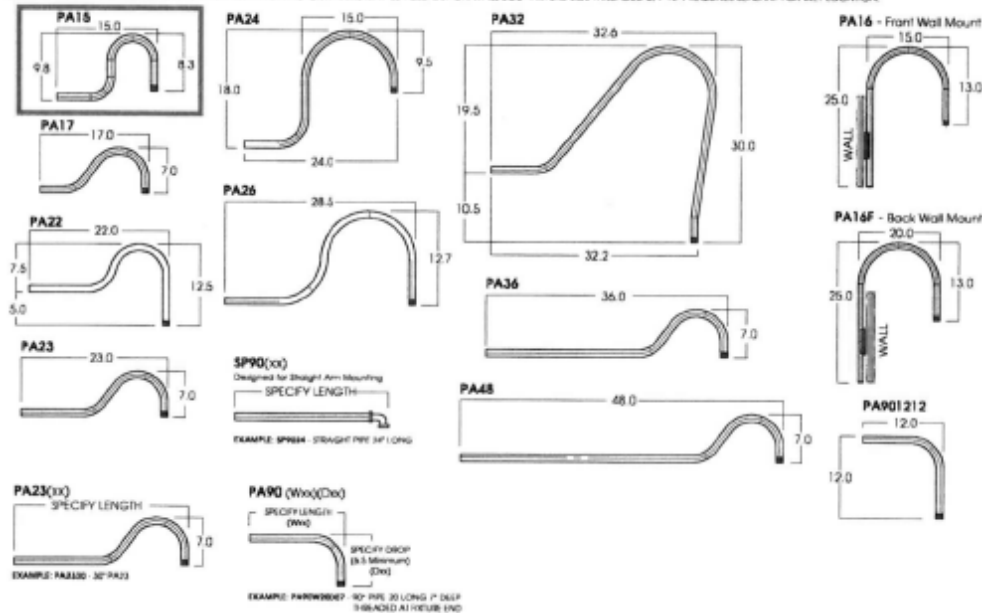
CP106 - LARGE DRIVER CANOPY
MAY BE USED AS SPICE BOX FOR DIRECT FEED



CP6/RMD - REMOTE MOUNT DRIVER
MOUNTS DIRECTLY TO WALL OR OCTAGON STYLE J-BOX



CUSTOM AND OTHER WALL ARMS AVAILABLE - CONTACT FACTORY. ARMS MAY BE FIELD CUT ON WALL SIDE - FIXTURE SIDE THREADED 3/4" NPT REQUIRES SEALANT FOR WET LOCATION



CEILING MOUNTING

RDC5 - SMALL DRIVER CANOPY (STANDARD)
MOUNTS TO 4" OCTO J-BOX



CP13 - LARGE DRIVER CANOPY



HM* HANG STRAIGHT
45° SWIVEL 1/2" STEM - 3/8" NPT



PM* RIGID PENDANT MOUNT
90° 1/2" STEM - 3/8" NPT



ORDER HM (Length)
SPECIFY LENGTH:
HM3 - 3" HM24 - 24"
HM6 - 6" HM36 - 36"
HM12 - 12" HM48 - 48"
HM18 - 18" HM72 - 72"
HMLC(XX)
Custom Length
(Specify in inches)

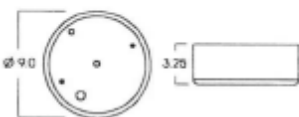
ORDER PM (Length)
SPECIFY LENGTH:
PM3 - 3" PM24 - 24"
PM6 - 6" PM36 - 36"
PM12 - 12" PM48 - 48"
PM18 - 18" PM72 - 72"
PMLC(XX)
Custom Length
(Specify in inches)

*MAXIMUM ONE PIECE STEM LENGTH IS 72". LONGER LENGTHS ARE POSSIBLE USING MULTIPLE STEMS AND COUPLERS.



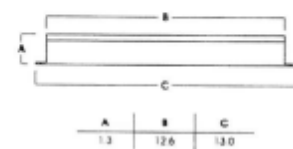
EMERGENCY BATTERY OPTIONS

EMCR - LARGE DRIVER CANOPY FOR 10W EMERGENCY BATTERY
(FOR ROUND CEILING MOUNT TYPES)

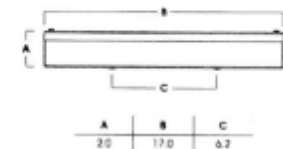


REMOTE EMERGENCY BATTERY OPTIONS

EMRM* - 7W REMOTE EMERGENCY BATTERY (50' MAX)



EMEN* - 7W REMOTE EMERGENCY BATTERY WITH ENCLOSURE (50' MAX)



*OTHER 9W BATTERY SIZES AVAILABLE. CONTACT FACTORY.



COLOR OPTIONS - POWDER COAT PAINT FINISHES

NOTE: NO PRINTED IMAGE CAN EQUAL THE EXACT COLOR OF FINISH ON METAL. SEE INDIVIDUAL SPECIFICATION SHEETS OR CONSULT FACTORY FOR ADDITIONAL INFORMATION.

EXHIBIT I Ordinance 6834



STANDARD CORD / STEM / CANOPY FINISHES

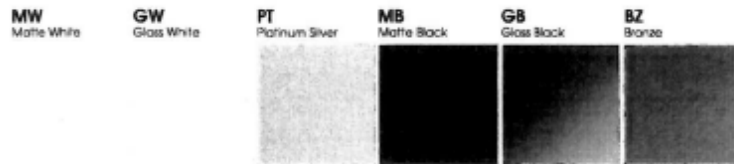
| FIXTURE COLOR | STANDARD CORD COLOR | STANDARD CANOPY / STEM COLOR |
|--|---------------------|------------------------------|
| Matte White, Textured White | Matte White | Matte White |
| Gloss White | Matte White | Gloss White |
| Matte Black, Gloss Black, Textured Black | Matte Black | Matte Black |
| All Others | Matte Black | Same Color as Fixture |
| Custom Color | Contact Factory | Contact Factory |

PAINT TIMES

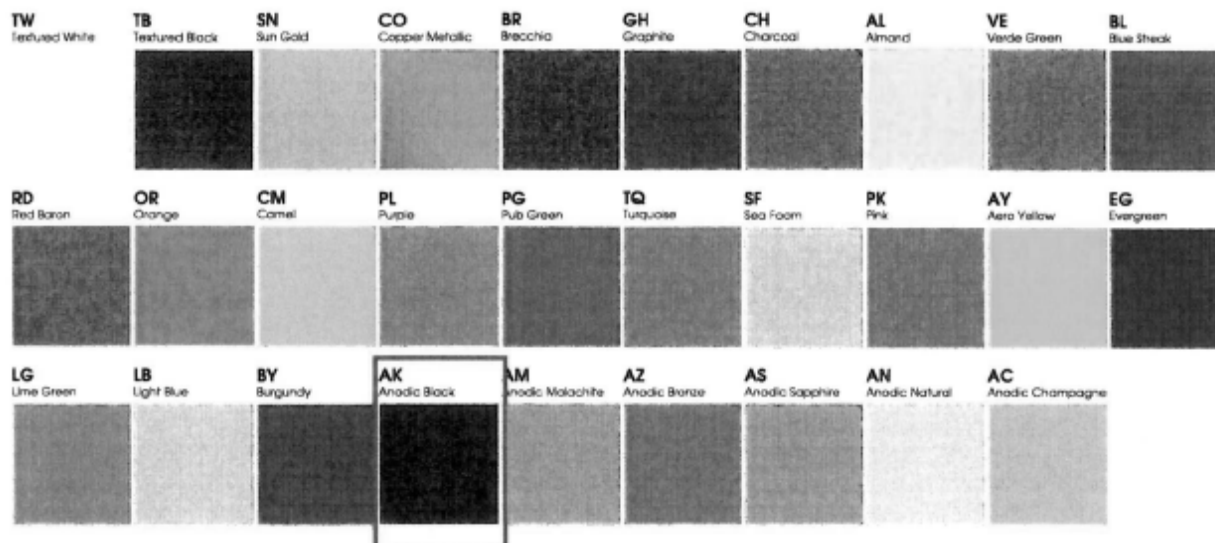
| TIER | COST | AVERAGE PAINT TIME* |
|----------------------------|-----------------|---------------------|
| Tier 1 - Standard Finishes | \$ | ① |
| Tier 2 - Typical Finishes | \$\$ | ②③ |
| Custom Color | Contact Factory | Contact Factory |

*CONTACT FACTORY FOR SPECIFIC PRODUCT LEAD TIMES

TIER 1 - STANDARD FINISHES



TIER 2 - TYPICAL FINISHES



CUSTOM COLOR FINISHES

CONTACT FACTORY

CC
Custom Color



OW1293 - IMAGE™



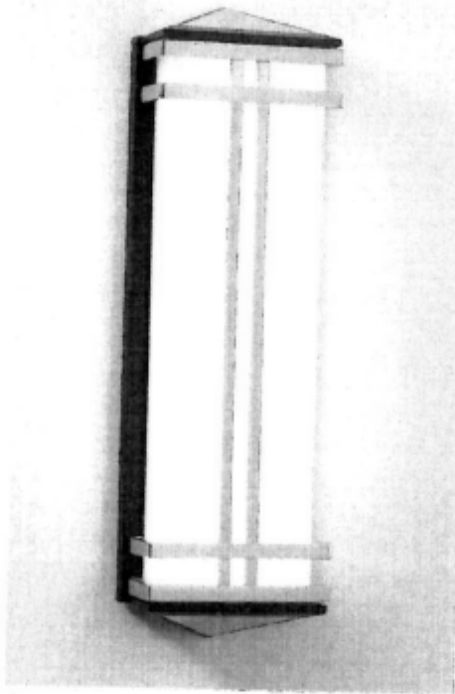
Type: Project:

VisaLighting.com/products/Image

Order Code: **OW1293** -

MODEL SOURCE VOLTAGE FRAME ACCENT BAR AND END CAPS OPTION(S)

Fill in shaded boxes using information listed below



A SOURCE (Select one) B VOLTAGE (Select one)

MVOLT fixture accepts 120 through 277 input voltage
LED sources are 83CRI within 3-step MacAdam and are dimmable 0-10V to 1%

| Sources | CCT | Delivered Lumens | Power (Watts) | Voltage |
|----------|-------|------------------|---------------|---------|
| • L30K-L | 3000K | 1100 | 13 | MVOLT |
| L35K-L | 3500K | | | |
| • L40K-L | 4000K | 1700 | 19 | |
| • L30K-H | 3000K | | | |
| L35K-H | 3500K | | | |
| • L40K-H | 4000K | | | |

FINISHES (Select one C Frame Finish and one D Accent Bar and End Cap Finish or Material) See page 2 for color chart

Powder Coat Painted Finishes (Standard) for Frame or Accent Bar and End Cap

| | | | |
|--------------------------|-----------------------------|--------------------------|-----------------------------|
| AG703B Agate Grey | CVBL Cove Blue | GW9002 Grey White | PB1035 Pearl Beige |
| BMAT Bronze Matte | CW9001 Cream | HTHR Heather | RUST Rust |
| BRNZ Bronze | GLIM Glimmer | JB9005 Jet Black | SUNG Sungold |
| BSIL Blade Silver | GSIL Graphite Silver | OBRZ Old Bronze | TW9016 Traffic White |

Metals (Premium) for Accent Bar and End Cap only

| | |
|------------------------------------|-------------------------------------|
| BSS Brushed Stainless Steel | PSS Polished Stainless Steel |
|------------------------------------|-------------------------------------|

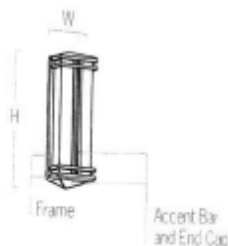


The Image family of luminaires provides tasteful ambient light and flexible design options. These versatile fixtures can be mounted on walls in vertical or horizontal orientations and on ceilings. Image's quality construction includes solid metal trim and die cast end caps with finish options to meet any design aesthetic.

DIMENSIONS

Depth is measured from wall to front of fixture
Mounting Center is measured from the top of fixture to center of junction box
H = Height D = Depth W = Width MC = Mounting Center

| | | |
|----|---------|----------|
| H | 25-7/8" | (657 mm) |
| D | 4" | (102 mm) |
| W | 7-1/4" | (184 mm) |
| MC | 13" | (330 mm) |



E OPTIONS (Multiple Selections Allowed)

▲ Option availability may be interdependent with Voltage, Source or Other Options

- HM** Horizontal mount (vertical is standard)
- XPS** Express 10 day shipping. Items marked with a bullet (•) are not available with XPS



ADA



XPS



LED



ETL Listed

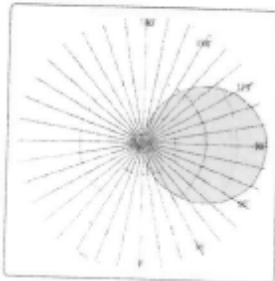


5 Year Warranty

OW1293 - IMAGE™



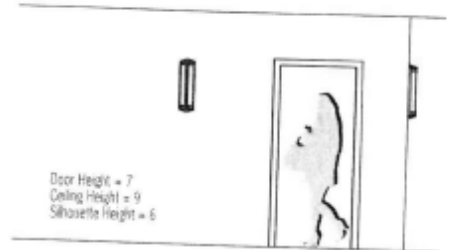
Photometrics



Technical Information

- Integral LED power supply
- Modular design for replacement of LED source and power supply
- Removable cam-action hinged frame for ease of maintenance
- Vertical mounting standard (horizontal mounting optional)
- Mounts over standard electrical junction box (by others) with provided hardware.
- Extruded aluminum backplate, die-cast end caps, vertical center accent and frame side rails. Solid metal formed accent bars, gasketed and sealed construction
- 1/8" thick white acrylic diffuser
 - F1 rated, UV stable
 - UL-94 HB Flame Class rated
- No VOC powder coat paint finish
- ETL listed to for wet location mounting 4' above grade

Relative Scale Drawing



Specify color code when ordering. For accurate color matching, individual paint and finish samples are available upon request. For additional information see VisaLighting.com/materials-finishes

Painted Finishes (Standard)

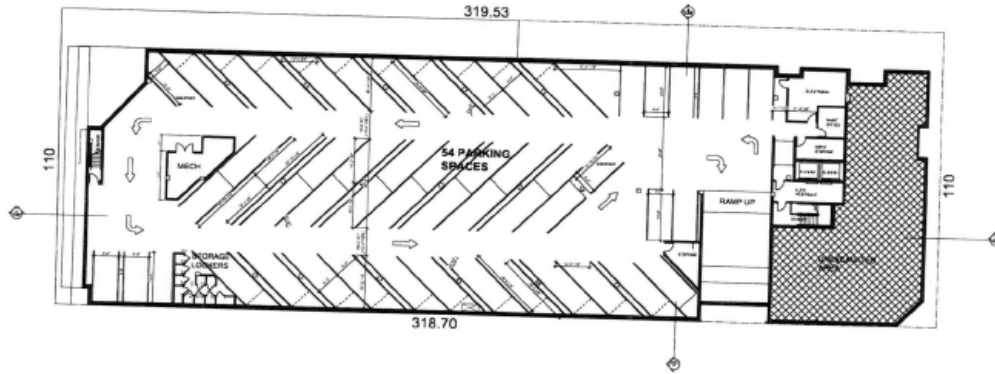
| | | | | | | |
|--|----------------------------------|--|--------------------------------------|---------------------------------------|------------------------|--------------------------|
| TW9016 Traffic White (RAL9016) | CW9001 Cream (RAL9001) | GW9002 Grey White (RAL9002) | JB9005 Jet Black (RAL9005) | AG7038 Agate Grey (RAL7038) | HTHR Heather | CVBL Cove Blue |
| BSIL Blade Silver | GSIL Graphite Silver | GLIM Glimmer | SUNG Sungold | BRNZ Bronze | | |
| OBRZ Old Bronze | BMAT Bronze Matte | PB1035 Pearl Beige (RAL1035) | RUST Rust | | | |

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EXHIBIT K

A-10

REVISED BY
2022.1



LOWER PARKING LEVEL

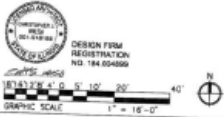
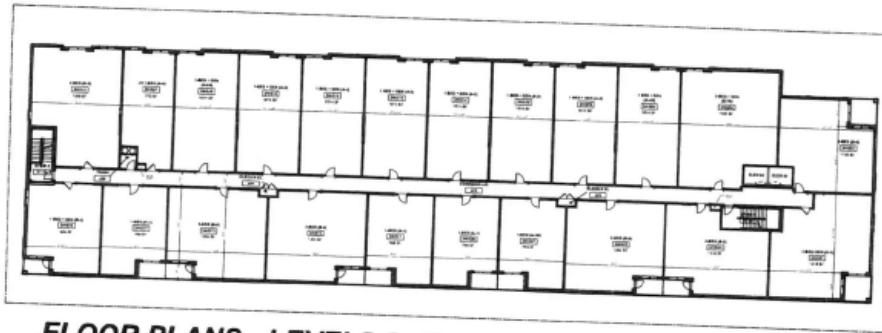


EXHIBIT L

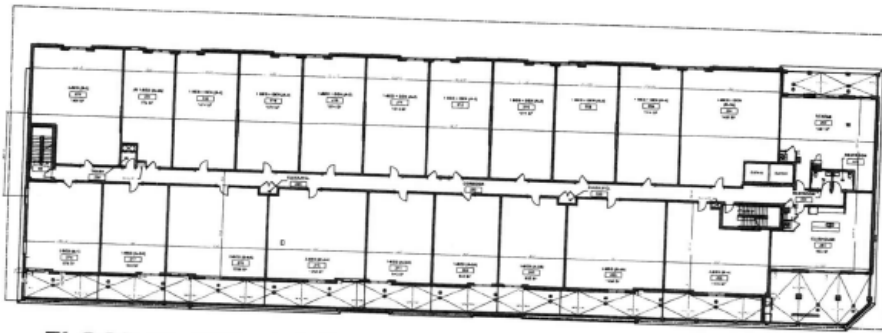
A-10
REVISED
202



FLOOR PLANS - LEVELS 3 - 5

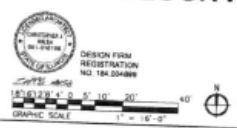
22 UNITS PER FLOOR

| GLENWOOD STATION UNIT BREAKDOWN | | | | | |
|---------------------------------|-----|-------------|-----------|----------|-------------|
| UNIT DESIGNATION | QTY | AREA | UNIT S.F. | GF TOTAL | GF |
| A-0 | 3 | 30.1 BGD | 772 | 2316 | 1 A 1 BED |
| A-0A | 1 | 30.1 BGD | 772 | 772 | 1 A 1 BED |
| A-1 | 9 | 1 BGD | - | 7341 | 3 BED |
| A-1B | 3 | 1 BGD | - | 2317 | 3 BED |
| A-1C | 26 | 1 BGD + DEN | 2554 | 26344 | 18.6 |
| A-2A | 4 | 1 BGD + DEN | 3244 | 6568 | 1 BGD + DEN |
| A-2A | 3 | 1 BGD | - | 2529 | 3 BED |
| A-2B | 1 | 1 BGD | - | 832 | 40.7 |
| B-1 | 1 | 2 BGD | 978 | 978 | 2 BED |
| B-2 | 3 | 1 BGD + DEN | 826 | 1978 | 27.36 |
| B-3 | 4 | 1 BGD | 1365 | 4476 | |
| B-4 | 1 | 2 BGD | 1174 | 1174 | |
| B-5 | 3 | 1 BGD | 1183 | 3549 | |
| B-6 | 3 | 1 BGD | 1183 | 3549 | |
| B-7A | 1 | 2 BGD + DEN | 1487 | 5449 | 1 BGD + DEN |
| B-7B | 9 | 1 BGD | - | 10626 | 4.13 |
| B-7A | 1 | 2 BGD | - | 3714 | |
| C-1 | 3 | 2 BGD + DEN | 1373 | 4917 | |
| TOTAL UNITS | 86 | | | | |
| TOTAL ADAPT. UNITS | 12 | | | | |
| | | TOTAL SF | | 10441 | |



FLOOR PLANS - LEVEL 2

20 UNITS



CERTIFICATION

I, Caren Cosby, duly elected Village Clerk of the Village of Glen Ellyn, Illinois, do hereby certify that the attached is a true and correct copy of Ordinance No. 6970, passed by the Board of Trustees of the Village of Glen Ellyn, Illinois, at the Special Board Meeting of said Board held on the 27 day of June 2022, and that the same was signed and approved by the President of said Village on the 27 day of June 2022.

I do further certify that the original, of which the attached is a true and correct copy, is entrusted to me as Village Clerk of said Village for safekeeping and that I am the lawful custodian and keeper of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Glen Ellyn, Illinois, this 27 day of June, 2022.


Village Clerk

CORPORATE SEAL



**Glen Ellyn Plan
Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 2/26/2026 7:00 PM
Department: Community Development
Department Head: Jennifer Henaghan
Category: Other
Prepared By: Daniel Harper

**AGENDA ITEM (ID
2026-143)**

DOC ID: 2026-143

Pre-Application — 451 Duane Street, Office Building Planned Unit Development.

Statement of the Issue:

The petitioner, John Messina, requests a Pre-Application meeting to obtain informal feedback on concept plans for the redevelopment of the property at 451 Duane Street as a new three-story office building located in the C5B Central Service Subdistrict.

Analysis:

Background:

The property was previously improved with a single-family home. The applicant purchased the property for redevelopment and has demolished the structure on the property. The property is now undeveloped.

Surrounding Uses:

| Surrounding Land Uses | Surrounding Zoning |
|---|---------------------------------|
| North: Computer Repair Store and Office | C5B Central Service Subdistrict |
| South: St. Petronille Church and School | R2 Single Family Residential |
| East: Single Family Residential | C5B Central Service Subdistrict |
| West: Multifamily Residential | C5B Central Service Subdistrict |

Comprehensive Plan:

The 2023 Comprehensive Plan future land use map identifies the property as a location for single-family attached development (pg. 12). The downtown sub-area framework identifies this property as being within a "Transition Area" and recommends that the Village "promote residential development in the outer edges of the C5B zoning area of the Central Business District to transition to the adjacent residential zones. Consider reduced setbacks and increased housing options in these areas" (pg. 22).

The plan also identifies the property as part of a potential redevelopment site in combination with the other existing single-family homes located to the east of the property and recommends that "these properties should be assembled and redeveloped as a small single-family attached development similar to the property directly east" (pg. 30).

Review Process:

Because the property is zoned C5B Central Service Subdistrict, the applicant would be required to submit an application for a Special Use Permit for a Planned Unit Development in order to allow for construction on the site. The C5B Central Service Subdistrict has no minimum yard and lot requirements for commercial uses.

The project would be required to seek approval of the exterior appearance from the Architectural Appearance Commission as the project is new non-residential principal building construction.

Project Summary:

1. Site Plan

The proposed site plan shows a three-story office building with 5,106 square feet of office floor area fronting Duane Street with a four-car parking lot south of the building. The building will also include an attached two-car garage that will be accessed from the rear of the building through the parking lot. In order to be efficient with the limited lot area, trash storage will be located inside the garage. The proposed site would be accessed through a driveway located in the west of the site on Prospect Avenue.

2. Potential Planned Unit Development Deviations

Visibility Triangle: Because the property is a corner lot, a portion of the building would be located in the 30-foot visibility (or safe sight) triangle. Approximately 575 square feet of the northwest corner of the proposed building would be located within the defined visibility triangle. This would not be out of character to the existing built environment, as the library and multifamily building located west of the property are also located within the visibility triangle.

Section 10-5-5(C) requires that new impervious surfaces be setback 2% of the lot width or one foot (1'-0") for the 48-foot-wide lot. The proposed side plan shows impervious surfaces being constructed on the lot line in order to allow for maneuverability for the parking area.

Section 10-5-8 (H) requires that landscape islands shall have a minimum width and length equal to the size of the parking spaces in the subject lot. The proposed landscape islands are one foot and six inches (1'-6") wide in lieu of the required nine feet (9'-0").

Section 10-7-9 (D) requires that the coverage of all principal and accessory buildings and structures shall not exceed 50 percent of the lot area. The proposed lot coverage when calculating the roof overhang is 3,042 sqft or 51.6% of the lot area. A deviation will be required as part of the PUD Submittal.

3. Landscaping and Lighting.

As part of the Planned Unit Development application review process, a landscape plan and photometric plan will be required, and the project's landscaping and lighting will be evaluated for compliance with the Village's requirements. The landscaping will also be reviewed by the AAC. Section 10-7-9 (B) of the Village Code requires planting screens or fences shall be provided on the sides of the development abutting areas occupied or likely to be occupied by residences and that the plan of the project shall provide for the integrated and harmonious design of buildings, and for adequate and properly arranged facilities for internal traffic circulation, landscaping and such other

features and facilities as may be necessary to make the project attractive and efficient from the standpoint of the adjoining and surrounding existing or potential development.

4. Driveway and Traffic Control.

The Duane Street approach to Prospect Avenue is a stop-sign-controlled intersection. The proposed positioning of the building would severely limit visibility for both motorists and pedestrians. The egress of the driveway onto Prospect Avenue has limited visibility for pedestrians using the Prospect Avenue sidewalk and has the potential to create conflicts due to the pre-K through 8th grade school that is located immediately to the south.

The Village Code requires that one space be provided for each 250 square feet of gross floor area. Approximately 29 spaces would be required per the code. However, this requirement may no longer be enforceable as SB 2111 goes into effect June 1, 2026, preventing local governments from imposing or enforcing any minimum automobile parking requirements on a development project if the project is located within one-half mile of a public transportation hub. The Glen Ellyn Metra station meets the qualifications as a public transit hub as defined in SB 2111. The property is located approximately 1,426 feet from the transit station and qualifies for the one-half mile radius requirement. To view SB 2111, a link is provided [here](#).

5. Elevations.

The proposed three-story office building will be constructed of primarily masonry materials. The proposed building height is forty-one feet and 2 inches (41'-2") and would meet the maximum building height requirement.

6. Overhead Utilities.

All the existing overhead utility lines located along the property limits will be buried as part of the project as required per Village Code.

7. Stormwater.

Stormwater impacts will need to be evaluated for the proposed development on the subject property to account for natural drainage patterns and overflow routes of the area. The proposed redevelopment of the site will likely require new stormwater detention or Post-Construction Best Management Practices (PCBMP) measures.

Budget Impact:

Contribution to Strategic Plan

Action Requested:

The Plan Commission is being asked to conduct a pre-application conference and provide comments that will assist the petitioner in preparing a formal application. In reviewing the project, the Plan Commission may wish to consider/provide feedback regarding the following:

1. If the Commission is supportive of the overall development concept.
2. Provide feedback on how the concept conflicts with the envisioned use of the property in the

2023 Comprehensive Plan.

3. Provide feedback on the number of parking stalls proposed on the lot.
4. Discuss and provide feedback regarding the anticipated modification requests.
5. Provide feedback on the proposed elevation design of the building.
6. Clarify any other concerns.

Attachments:

1. Cover Letter
2. Application - Pre Application
3. Aerial Map
4. Zoning Map
5. Existing Site Development Plan and Survey
6. Preliminary Site Plan, Floor Plan and Elevation Plan
7. Preliminary Elevation Rendering



MESSINA BUILDERS

P.O Box 723

Bloomington, IL 60108

Date 1/3/26

PROJECT DESCRIPTION

Vacant lot located at 451 Duane on corner of prospect

Proposing using existing curb cut on prospect to build a 3-story office building , we are currently working with two medical groups looking for a local office no retail sales

Interested parties have mentioned interest in this site with its proximity to Metra train

This would be a great use of site with not heavy traffic in out of building this would complement surrounding area



VILLAGE OF GLEN ELLYN

Application for Commission Pre-Application Meeting

*Community Development Department
535 Duane Street – Glen Ellyn, IL 60137 – Telephone 630.547.5250 – Fax 630.547.5370*

Application for Commission Pre-Application Meeting

Date Filed: 1/19/2026

Application No: 2026-0004

Name of Applicant: john Messina

Address of Applicant: 24w280 St. Charles Road, Carol Stream, IL 60188

Property Interest of Applicant: Developer - 451 Duane Street

Name of Owner: Flash Property Management

Address of Owner: 101 Tanager Dr Bloomingdale, IL 60108

Contacts:

| Type | Name | Address |
|-------------------|------------------------------|--|
| | | 24w280 st charles rd carol stream Carol Stream, IL 60188 |
| Petitioner | john messina | 24w280 st charles rd carol stream Carol Stream, IL 60188 |
| Web Administrator | john messina | 60188 |
| | Flash Property Management | 101 Tanager Dr Bloomingdale, IL 60108 |
| Parcel Owner | | |

Property Address: 451 Duane St

Project Name: office

Project Description: corner vacant lot we are looking to build 3 story office use

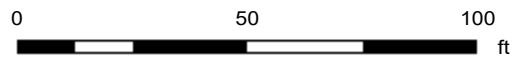
Zoning: C5B, Central Business District (Service)

: 05113260010000



Legend

Notes



Print Date: 2/12/2026


Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.




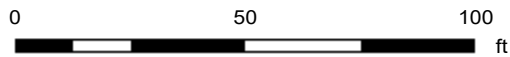
Legend

Zoning and Development

Zoning

 C5B: Central Business District (Service)

 R2: Single Family Residential District



Print Date: 2/12/2026

Notes

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GENERAL NOTES:

1. Utilities and improvements shown hereon based on visible field verified structures.
2. Boundary information shown hereon is for graphical depiction only.
3. This drawing does not constitute a plat of survey.

SITE MANAGEMENT NOTES

1. The use of a Village water hydrant shall be used for the purpose of controlling dust and other airborne particles during demolition.
2. Provide 10lb ABC fire extinguisher (minimum) on site during demolition and construction.
3. Safety fence is required around the perimeter of the demolition/construction site and must be secured during non-work hours.
4. Demolition must occur on the dates indicated on the written notification mailed to the village surrounding property owners no more than 10 days or less than 7 days prior to the scheduled demolition. If the demolition does not occur within the dates noted, the contractor shall provide another notice of the rescheduled dates no more than 10 days or less than 7 days prior to the rescheduled demolition.
5. Within 90 days from the issuance of a demo permit, the driveway shall be removed, the site shall be restored to natural grade and soil stabilization (grass seed or sod) shall be established.

CONSTRUCTION NOTES:

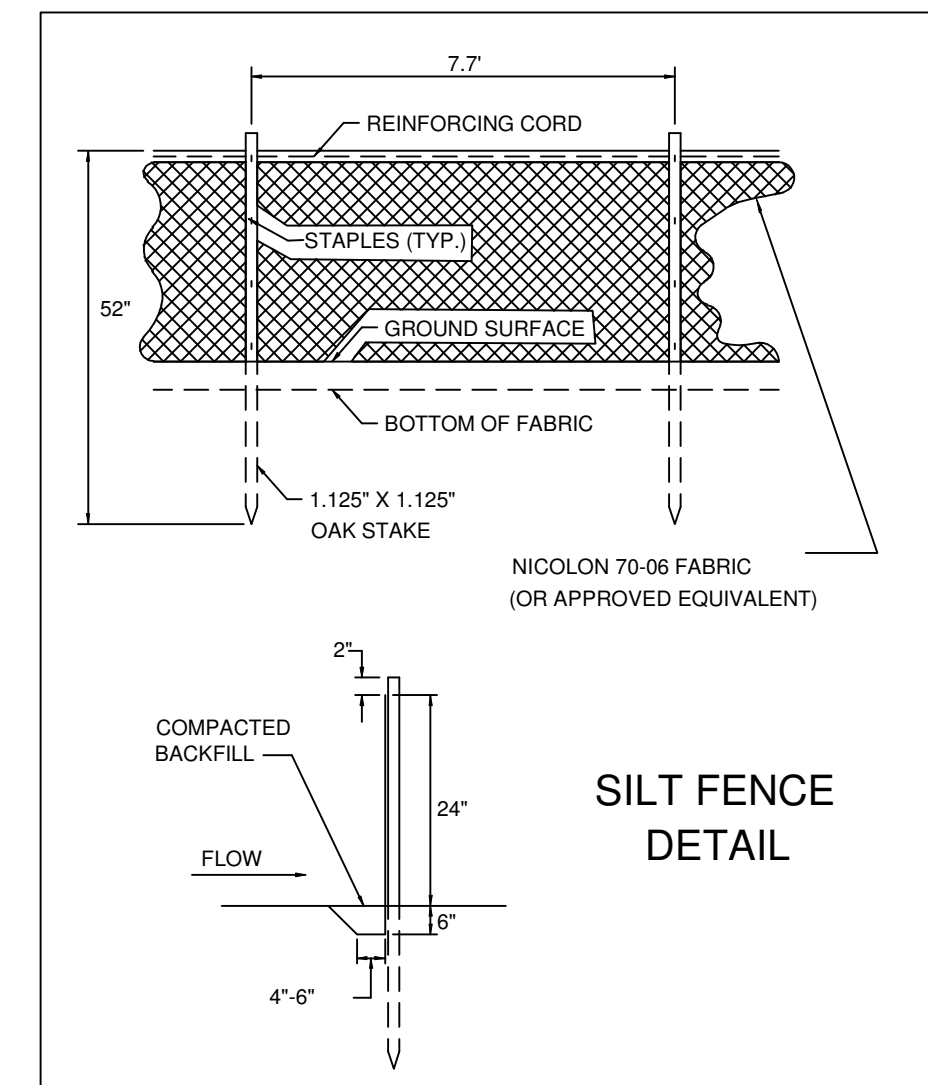
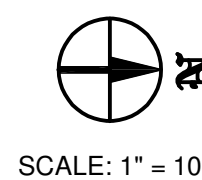
1. Install Silt Fence prior to the start of excavation activities.
2. Maintain existing driveway for construction entrance.

ALL UTILITY DISCONNECTIONS SHALL BE MADE AT THEIR RESPECTIVE MAINS. THE PARKWAY SHALL BE RESTORED WITH TOPSOIL & SOD.

WORKING HOURS ARE LIMITED TO 7 AM TO 7 PM MONDAY THROUGH FRIDAY

EXISTING TOPOGRAPHY, SITE MANAGEMENT, DEMOLITION & EROSION CONTROL PLAN

FOR
451 DUANE ST. - GLEN ELLYN, IL
(P.I.N. 05-11-326-001)



LEGEND

Existing

| | | |
|------------------|----------|----------|
| Sanitary Sewer | — c — | — c — |
| Storm Sewer | — < — | — < — |
| Watermain | — 8" w — | — 8" w — |
| Contour Lines | — 704 — | — 704 — |
| Spot Elevations | 705.00 | 705.00 |
| Fence | — — | — — |
| Fire Hydrant | ⊕ | ⊕ |
| Manhole | ⊙ | ⊙ |
| Light Pole | ⊙ | ⊙ |
| Power Pole | ⊙ | ⊙ |
| B-Box | ⊙ | ⊙ |
| San. Cleanout | ⊙ | ⊙ |
| Tree | ⊙ | ⊙ |
| Shrubs | ⊙ | ⊙ |
| Drainage Pattern | ⊙ | ⊙ |
| Silt Fence | — — | — — |
| Inlet Protection | — — | — — |
| Safety Fence | — — | — — |

BENCHMARK INFORMATION

DUPAGE COUNTY BENCHMARK #DK3188: STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF MAIN STREET AND CRESCENT STREET. STATION IS 74.0 FEET SOUTH OF THE CENTERLINE OF CRESCENT STREET AND 42.5 FEET EAST OF THE CENTERLINE OF MAIN STREET. MONUMENT IS A 3.5 INCH BRASS DISK SET ON THE TOP OF A 3 FOOT HIGH RETAINING WALL SURROUNDING AN ELECTRICAL CONTROL BOX. MONUMENT IS 1.0 FOOT ABOVE GRADE.

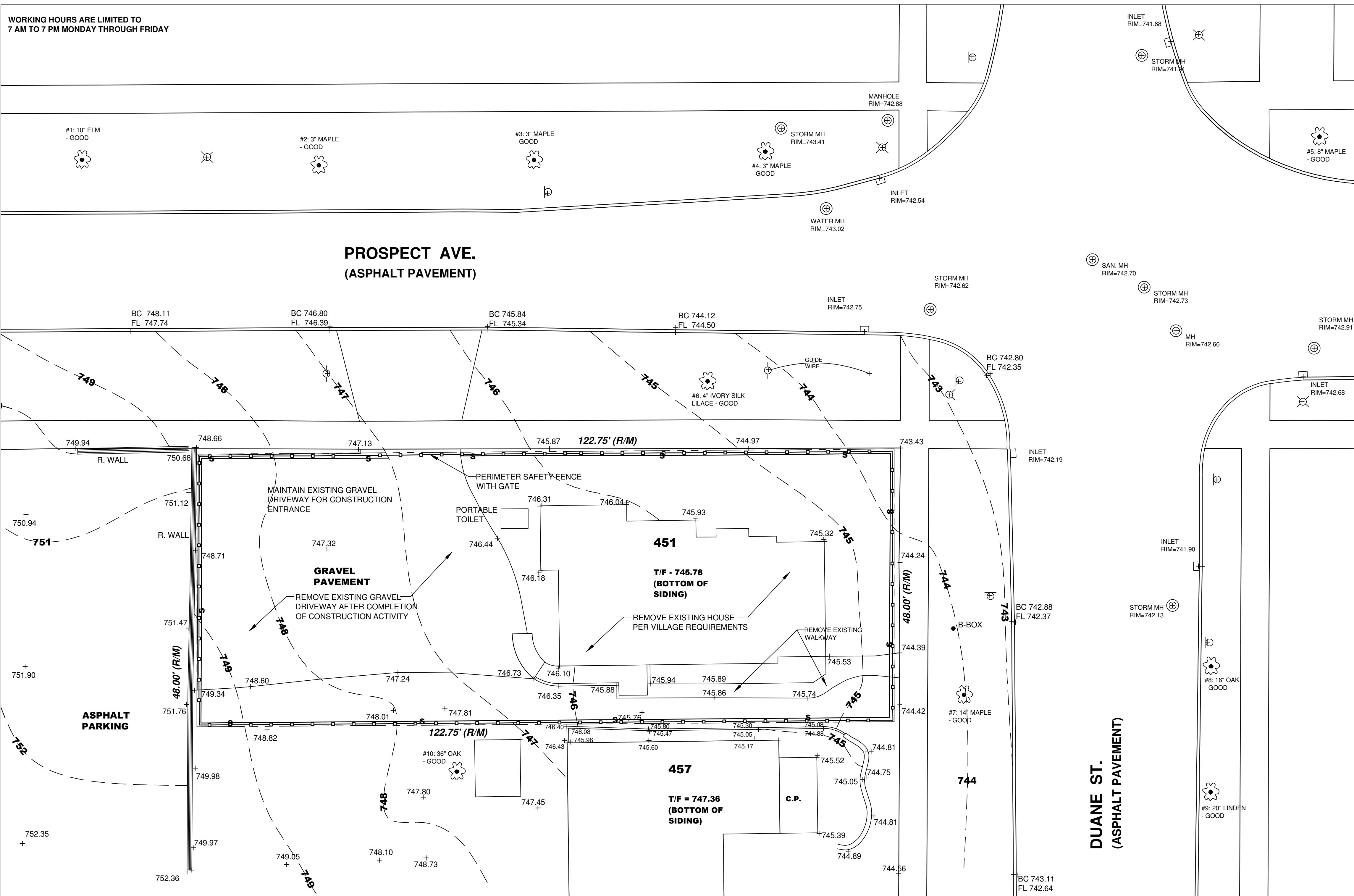
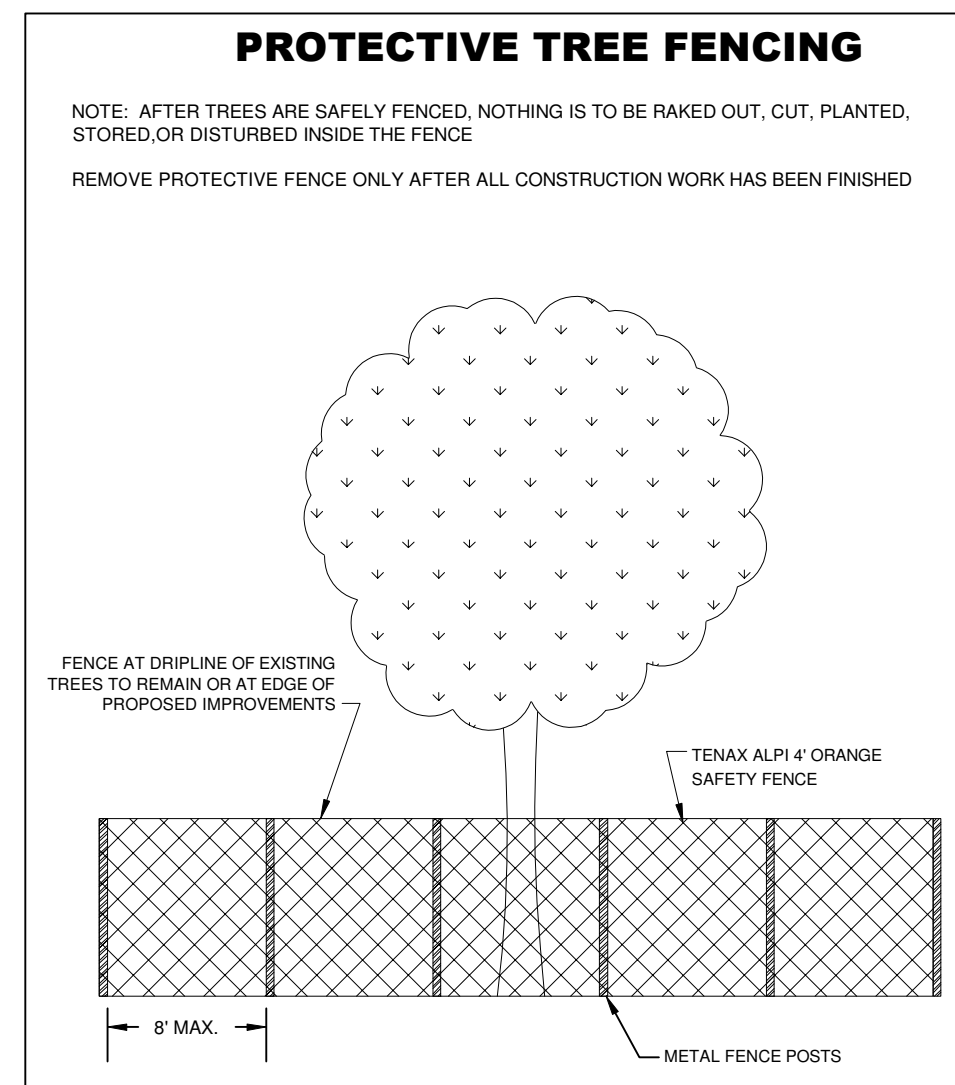
ELEVATION = 745.28 (NAVD88)

SITE BENCHMARK: STORM MANHOLE LOCATED ON THE SOUTHEAST CORNER OF THE INTERSECTION OF DUANE STREET AND PROSPECT AVENUE.

RIM = 742.62 (NAVD88)

EROSION CONTROL NOTES

1. THE SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL AND SEDIMENTATION CONTROL, PROCEDURES AND STANDARDS FOR URBAN SOIL AND SEDIMENTATION CONTROL IN ILLINOIS, AND THE VILLAGE OF GLEN ELLYN.
2. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED.
3. SEDIMENTATION BASINS, BARRIERS, AND ALL APPROPRIATE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO MASS GRADING.
4. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS DEEMED NECESSARY BY THE VILLAGE OF GLEN ELLYN.
5. INSTALL PERMANENT SEEDING AND SOD IN ALL AREAS AS REQUIRED BY THE VILLAGE OF GLEN ELLYN.
6. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 3 DAYS, IT SHALL BE SURROUNDED BY SILT FENCE. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 14 DAYS, IT SHALL BE PROTECTED WITH TEMPORARY SEEDING.
7. ALL FLARED END SECTIONS SHALL BE PROTECTED BY SEDIMENT SETTLING BASINS AND/OR STRAW BALES UNTIL GROUND COVER HAS BEEN ESTABLISHED. FILTER FABRIC SHALL BE PLACED UNDER ALL INLET GRATES UNTIL GROUND COVER HAS BEEN ESTABLISHED.
8. WATER PUMPED, OR OTHERWISE DISCHARGED, FROM THE SITE AS PART OF CONSTRUCTION DEWATERING SHALL BE FILTERED.
9. ALL SOIL, MUD AND DEBRIS WASHED, TRACKED OR DEPOSITED ONTO THE STREET SHALL BE REMOVED AT THE END OF EACH WORK DAY.
10. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE AFTER THE FOUNDATION HAS BEEN BACKFILLED. THE GRAVEL DRIVE SHALL BE INSTALLED WITHIN 7 DAYS OF THE FOUNDATION BACKFILLING AND PRIOR TO THE START OF ANY CONSTRUCTION ABOVE THE TOP OF FOUNDATION.
11. GROUND COVER (SEED AND MULCH OR SOD) SHALL BE PLACED ON ALL DISTURBED AREAS WITHIN 14 DAYS OF THE COMPLETION OF TOP SOIL PLACEMENT AND FINAL GRADING. IF WEATHER CONDITIONS PRECLUDE THE PLACEMENT OF SEED AND MULCH OR SOD, ALL DISTURBED AREAS SHALL BE PROTECTED WITH EROSION BLANKET.



EXISTING TOPOGRAPHY & EROSION CONTROL PLAN

451 DUANE ST. - GLEN ELLYN, IL

DRAWN BY: [Name] CHECKED BY: [Name]

GENERAL REVISION

PREPARED FOR
MESSINA BUILDERS

P.O. Box 5376, Oak Brook, IL 60522
Tel: 630-772-8883 Fax: 630-756-4151

This is to certify that I, Alecs C. Hur, performed the topographical survey and that what is drawn is a correct representation of the field observations.
Dated this 16th day of December 2024 at Elmhurst, Illinois.
Alecs C. Hur
Illinois Professional Engineer Number 062-054937
My License Expires NOVEMBER 30, 2025



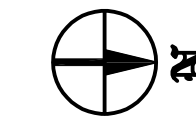
SITE DEVELOPMENT & TREE PROTECTION PLAN

FOR

451 DUANE ST. - GLEN ELLYN, IL

(P.I.N. 05-11-326-001)

DUPAGE COUNTYWIDE STORMWATER MANAGEMENT APPLICATION/PERMIT NUMBER: 24-17-00XX



SCALE: 1" = 10'

IMPERVIOUS AREA TABLE

| | |
|----------------------------------|-----------|
| LOT SIZE = | 5892 S.F. |
| EXIST. IMPERVIOUS | |
| HOUSE | 1180 S.F. |
| WALK | 245 S.F. |
| GRAVEL DRIVEWAY | 2130 S.F. |
| TOTAL EXISTING IMPERVIOUS AREA = | 3555 S.F. |

SOIL EROSION AND SEDIMENTATION CONTROL COST ESTIMATE

ALL PERVIOUS AREAS SHALL BE PLANTED WITH SOD. TOPSOIL AND SOD SHALL BE PLACED WITHIN 14 DAYS AFTER COMPLETION OF FINE GRADING OPERATIONS.

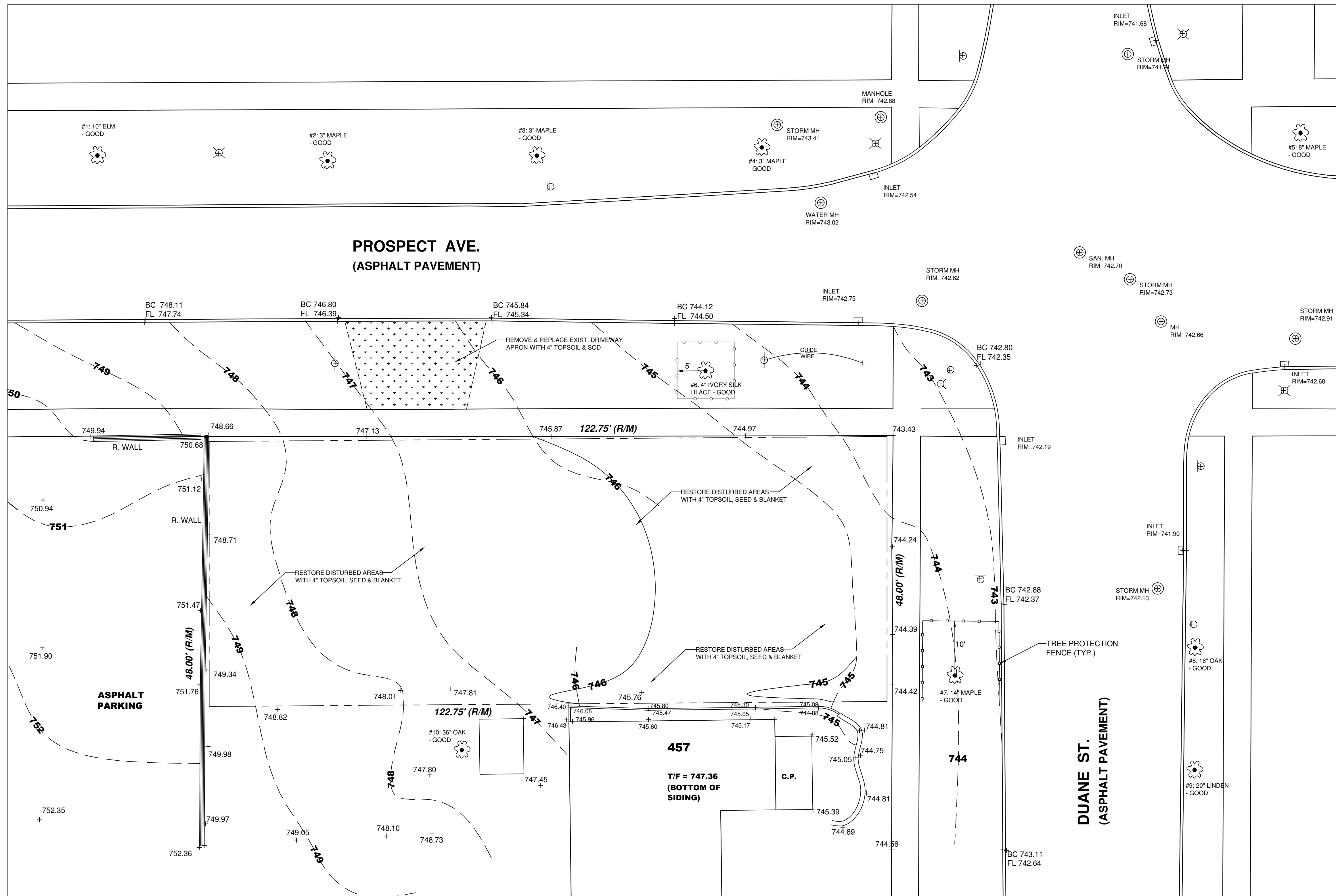
| ITEM | UNITS | UNIT PRICE | QUANTITY | COST |
|-------------------|-------|------------|----------|---------------|
| SILT FENCE | L.F. | \$ 3 | 340 | \$1020 |
| 4" TOPSOIL | S.Y. | \$ 3 | 450 | \$1350 |
| SOD | S.Y. | \$ 3 | 450 | \$1350 |
| STREET SWEEPING | L.S. | \$ 500 | 1 | \$ 500 |
| TOTAL COST | | | | \$4220 |

MASS GRADING NOTES

1. ALL UNSUITABLE MATERIAL MUST BE REMOVED FROM THE PROPOSED BUILDING AREA OR AS INDICATED ON THE SOILS REPORT FOR THE SUBJECT DEVELOPMENT.
2. PRIOR TO COMMENCEMENT OF CONSTRUCTION OF THE MASS GRADING OPERATIONS OF A SUBDIVISION OR PARCEL OF LAND, THE DEVELOPER OR BUILDER, MUST NOTIFY THE VILLAGE ENGINEER TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION. IN ADDITION, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, ALL REQUIRED BONDS MUST BE POSTED AND PERMIT FEES PAID. ALL MASS GRADING OPERATIONS OF A SUBDIVISION OR INDIVIDUAL BUILDING PARCEL, AS WELL AS ANY ROADWAY OR PARKING LOT IMPROVEMENT, MUST BE CONSTRUCTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, IN ILLINOIS, CURRENT EDITION, AS WELL AS THE AMERICAN SOCIETY OF STATE HIGHWAY OFFICIALS, CURRENT EDITION.
3. ALL GRADING OPERATIONS MUST BE CONSTRUCTED ACCORDING TO THE ELEVATIONS AND GRADES, AS SHOWN ON THE PLANS OR MODIFIED BY THE VILLAGE ENGINEER. ALL EXCAVATED MATERIAL SHALL BE PLACED AND STOCKPILED ON THE SUBJECT PROPERTY, AS PREVIOUSLY APPROVED. THE SUBDIVIDER OR BUILDER MUST ADHERE TO THE APPROVED ENGINEERING PLANS, DURING THE COURSE OF CONSTRUCTION OF THE DESIGNATED IMPROVEMENTS. POSITIVE DRAINAGE MUST BE PROVIDED AT ALL TIMES IN AN ATTEMPT NOT TO AFFECT THE SUBJECT DEVELOPMENT OR TO INFRINGE UPON ADJACENT PROPERTIES.

CONSTRUCTION NOTES:

1. Maintain existing drainage pattern. This development shall not increase stormwater runoff to adjacent properties.
2. All excavated material not used to backfill around foundation shall be removed from site.



SITE DEVELOPMENT & TREE PROTECTION PLAN

451 DUANE ST. - GLEN ELLYN, IL

DRAWN BY: -
CHECKED BY: -

PREPARED FOR
MESSINA BUILDERS

P.O. Box 5376, Oak Brook, IL 60522
Tel: 630-772-9338 Fax: 630-756-4151

Sheet 2 / 2

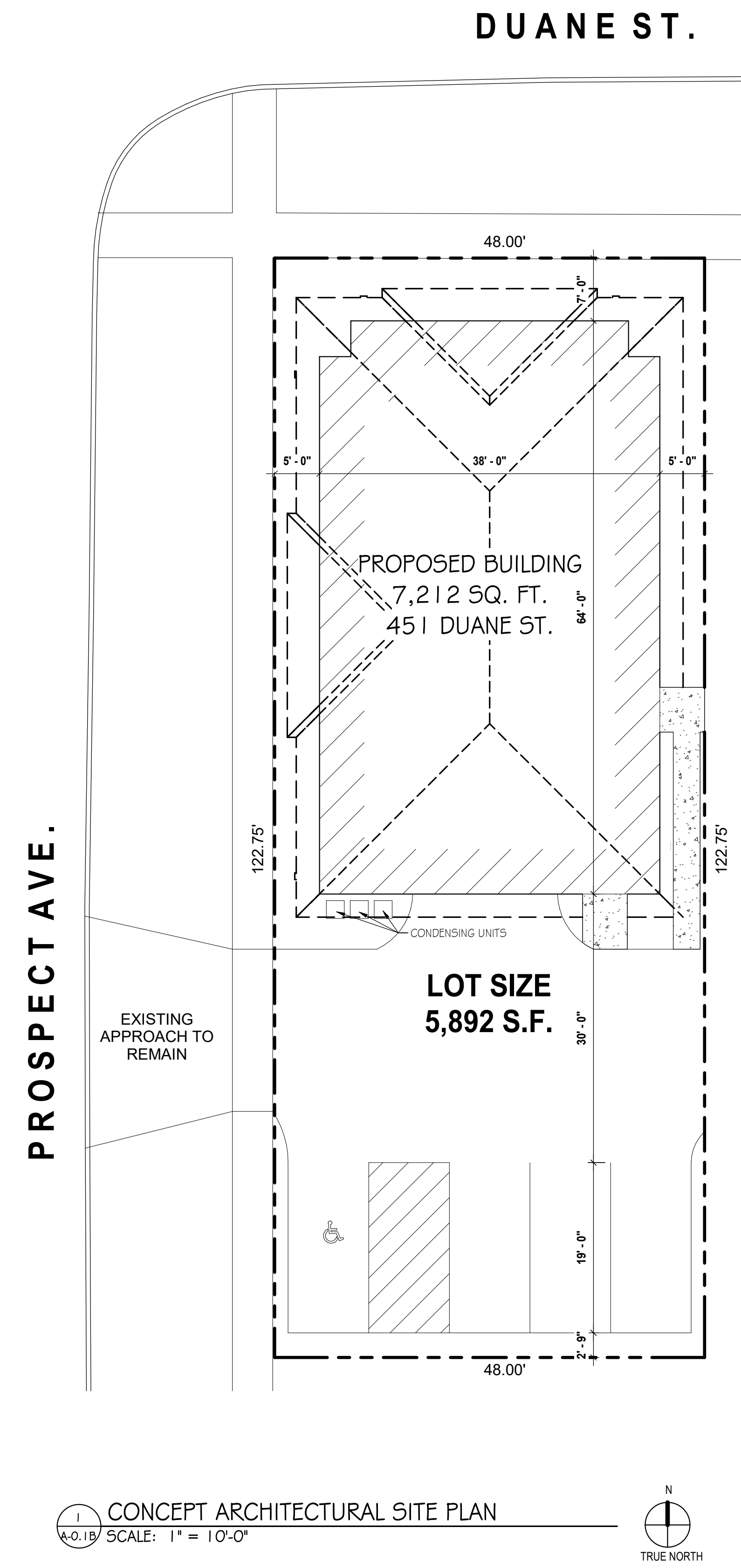
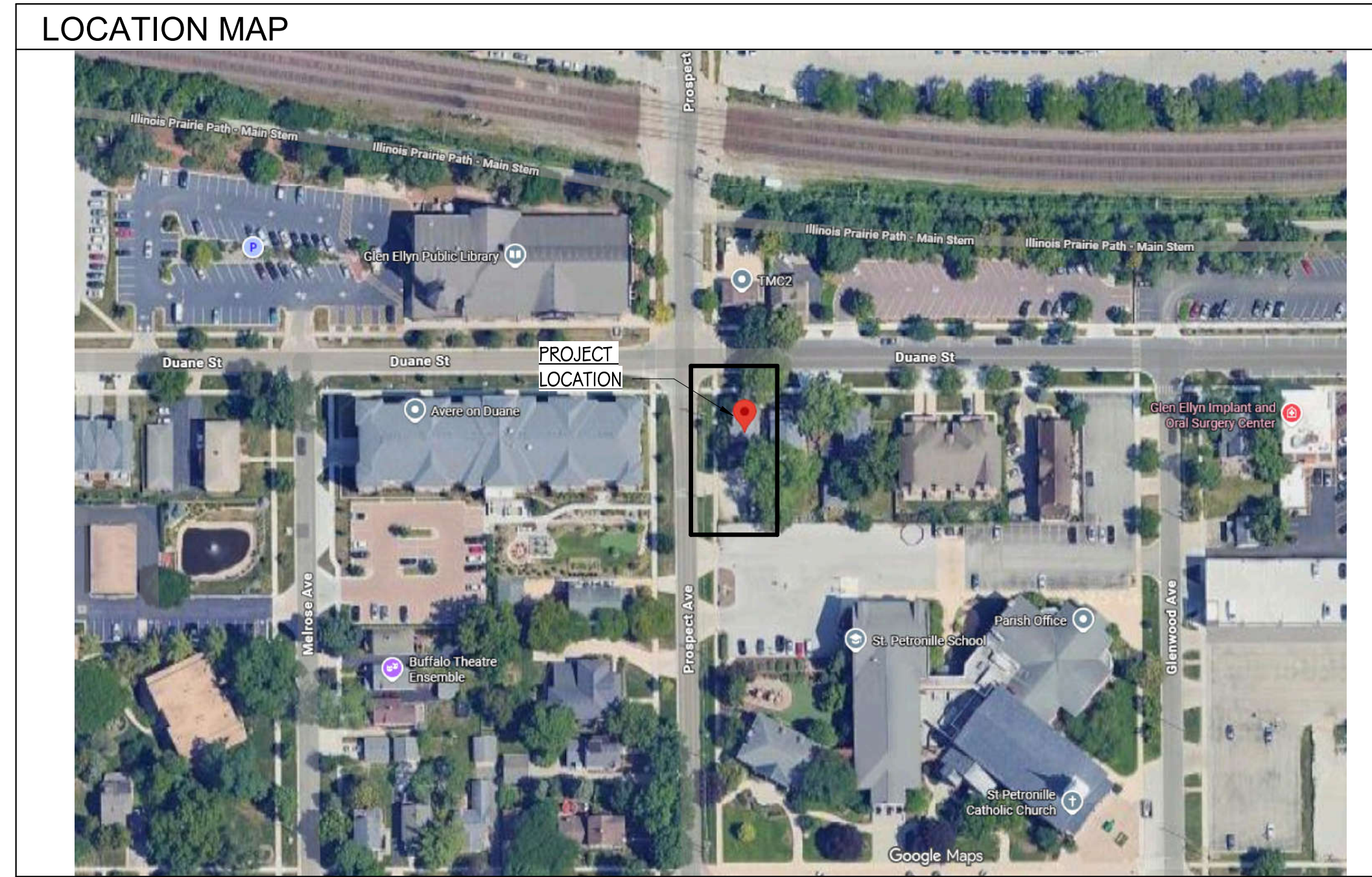
I, Alects C. Hur, a registered Professional Engineer of Illinois hereby certify that these plans and specifications have been prepared by Gabriel Group, Inc. under my personal direction and supervision and that the development of the subject site in accordance with the site development plan will not increase the amount or rate of run-off so as to adversely affect the quality or surface water draining onto other properties and will not damage other properties.

Dated this 20th day of December 2024 at Elmhurst, Illinois.

Alects C. Hur

Illinois Professional Engineer Number 062-054937
My License Expires on NOVEMBER 30, 2025

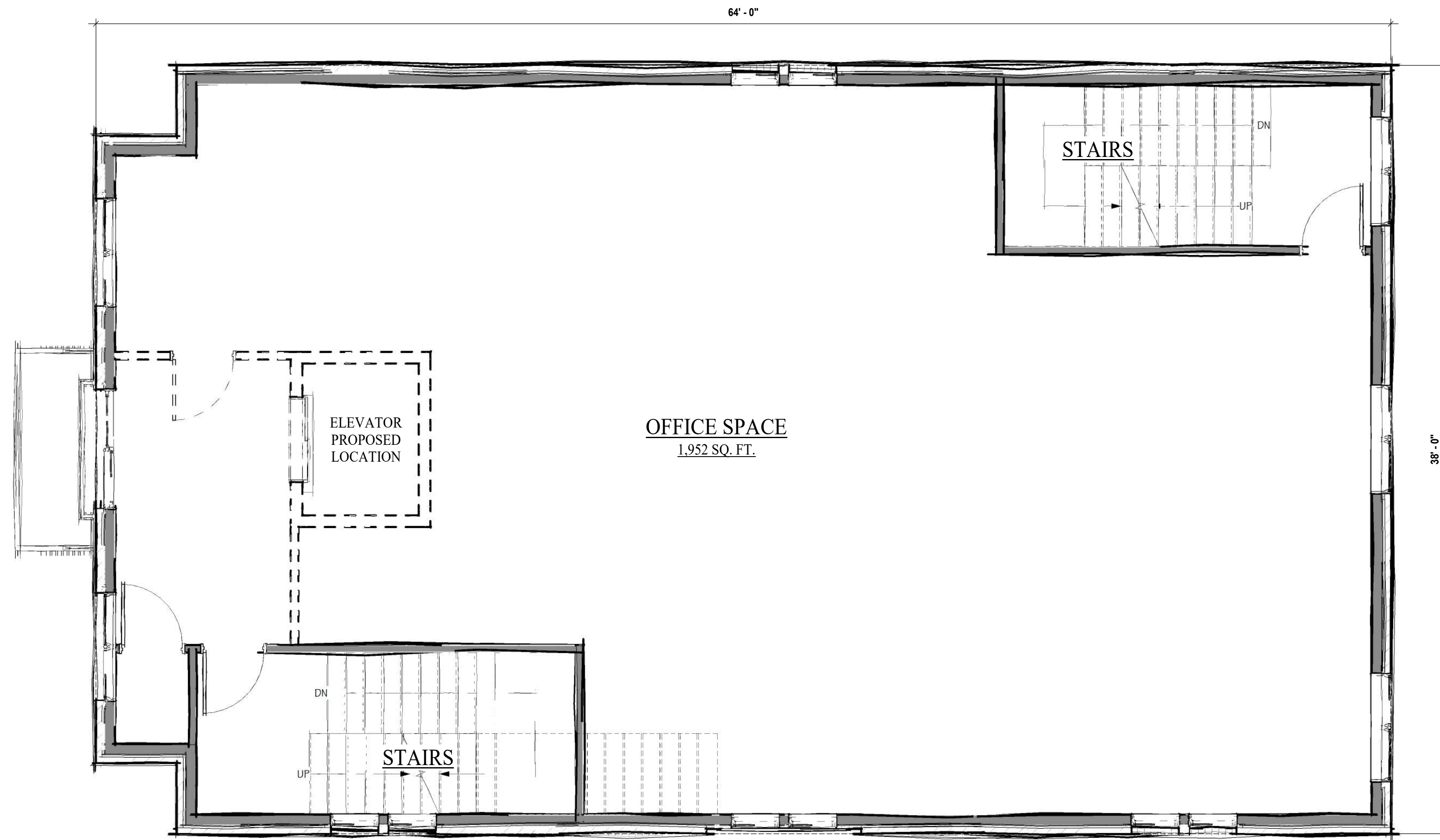




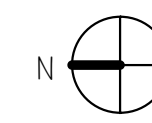
LAYOUT IS PRELIMINARY. ALL DIMENSIONS TO BE VERIFIED.

PRELIMINARY
NOT FOR CONSTRUCTION

| | | | |
|--|-------------------|--|------------|
| | | 257 WEST AVENUE SUITE 100 ELMHURST, IL 60126 T: 630-617-9990 | |
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| REV. # | DATE | REVISION / ISSUE | FOR REVIEW |
| | | | |
| DRAWING TITLE: PRELIMINARY ARCHITECTURAL SITE PLAN | | OFFICE BUILDING 451 DUANE ST. GLEN ELLYN, IL 60137 | |
| DRAWN BY: FZAC | CHECKED BY: JB | CLIENT: JOHN MESSINA GLEN ELLYN, IL 60137 | |
| SCALE: AS NOTED | | DATE: 12/31/25 ISSUED FOR: REVIEW | |
| DRAWING #: A-0.1B OF | | DRAWING #: | |



1
A-1.1 CONCEPT SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



LAYOUT IS PRELIMINARY. ALL DIMENSIONS TO BE VERIFIED.

PRELIMINARY

NOT FOR CONSTRUCTION

DATE: 12/31/25
ISSUED FOR:

REVIEW

DRAWING #:

A-1.1
OF

DRAWING TITLE:
CONCEPT SECOND LEVEL

SCALE: AS NOTED

DRAWN BY:
FZAC

CHECKED BY:
JB

CLIENT:
JOHN MESSINA
GLEN ELLYN, IL 60137

OFFICE BUILDING
451 DUANE ST.
GLEN ELLYN, IL 60137

REV. # DATE REVISION/NOTE

FOR REVIEW

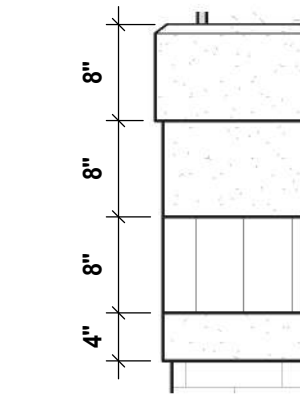
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architects' studio
257 WEST AVENUE SUITE 100
ELMHURST, IL 60126
T: 630-617-9990



2 CONCEPT EAST ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



3 SILL DETAIL
A-2.0 SCALE: 3/4" = 1'-0"



1 CONCEPT NORTH ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"

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| REV. # | DATE | REVISION/NOTE |
|--------|------|---------------|
| | | |
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| | | |

FOR REVIEW

OFFICE BUILDING
451 DUANE ST.
GLEN ELLYN, IL 60137
CLIENT: JOHN MESSINA
GLEN ELLYN, IL 60137

DRAWING TITLE: CONCEPT ELEVATIONS
SCALE: AS NOTED
DRAWN BY: FZAC
CHECKED BY: JB

DATE: 12/31/25
ISSUED FOR: REVIEW

DRAWING #: A-2.0
OF



2
A-2.1 CONCEPT WEST ELEVATION
SCALE: 1/4" = 1'-0"



1
A-2.1 CONCEPT SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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| REV. | DATE | REVISION/NOTE |
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FOR REVIEW

OFFICE BUILDING
451 DUANE ST.
GLEN ELLYN, IL 60137
CLIENT: JOHN MESSINA
GLEN ELLYN, IL 60137
CHECKED BY: JB
DRAWN BY: FZAC

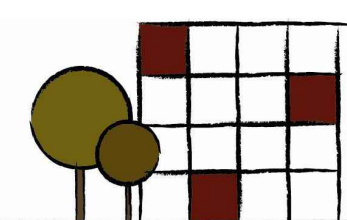
DRAWING TITLE:
CONCEPT ELEVATIONS
SCALE: AS NOTED

DATE: 12/31/25
ISSUED FOR:
REVIEW

DRAWING #:
A-2.1
OF



PRELIMINARY DESIGN



OFFICE BUILDING

451 DUANE ST. GLEN ELLYN, IL

architects' studio