



Agenda
Village of Glen Ellyn
Capital Improvements Commission Meeting
Wednesday, January 8, 2025
7:00 PM
Glen Ellyn Civic Center, Room 301

Any individual with a disability requiring a reasonable accommodation in order to participate in a meeting should contact The Village of Glen Ellyn ADA Coordinator, 630-469-5000, at least five (5) business days in advance of the next scheduled meeting. All matters on the Agenda may be discussed, amended, and acted upon.

- A. Call to Order**
- B. Public Comment**
- C. Approval of Minutes**
 - 1) Motion to approve the December 11, 2024 Capital Improvements Commission Meeting Minutes
- D. Current Business**
 - 1) Metra Station and Multimodal Access Improvements Project - 60 Percent Design Plans and Cost Estimate
- E. Trustee Liaison's Report**
- F. Other Business**
- G. Public Works Report**
- H. Project Report**
 - 1) Engineering Division Project Activity Report Dated 1-3-2025
- I. Adjourn**



**Glen Ellyn Capital
Improvements Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 1/8/2025 7:00 PM
Department: Public Works
Department Head: Dave Buckley
Category: Minutes
Prepared By: Richard Daubert

AGENDA ITEM (ID # 2025-5)

DOC ID: 2025-5

Motion to approve the December 11, 2024 Capital Improvements Commission Meeting Minutes

Statement of the Issue:

The draft meeting minutes for the December 11, 2024 Capital Improvements Meeting are attached hereto for review and consideration of approval.

Analysis:

Budget Impact:

Contribution to Strategic Plan

Action Requested:

Attachments:

1. CIC Meeting Minutes December 11 2024 - Draft

DRAFT



Meeting Minutes
Village of Glen Ellyn
Capital Improvements Commission
December 11, 2024
7:00 PM
Glen Ellyn Civic Center Room 301

Board or Commission: Capital Improvements

Date: December 11, 2024

Meeting: Regular

Called to Order: 7:01 p.m.

Quorum: Yes

Adjourned: 10:10 p.m.

Member Attendance:

Steve Szymanski	Chair	Present
Joel Baldin	Commissioner	Present
Orion Galey	Commissioner	Present
Michael Lindquist	Commissioner	Present
John MacDonald	Commissioner	Present
Adil Saeed	Commissioner	Present
Jill Ziegler	Commissioner	Absent
Rocco Zucchero	Commissioner	Present
Donna Jean Simon	Trustee Liaison	Present
Richard Daubert	Staff Liaison/Professional Engineer	Present

Also Present:

Dave Buckley	Public Works Director
Derek Peebles	Assistant Village Engineer

A. CALL TO ORDER

The December 11, 2024 regular meeting of the Capital Improvements Commission was called to order by Chairman Szymanski at 7:01 p.m. at the Glen Ellyn Civic Center.

B. PUBLIC COMMENT – None

C. APPROVAL OF MINUTES

APPROVAL OF OCTOBER 9, 2024 CAPITAL IMPROVEMENTS COMMISSION MEETING MINUTES

MOTION TO APPROVE MINUTES FROM OCTOBER 9, 2024 CAPITAL IMPROVEMENTS COMMISSION MEETING

MOTION BY: Commissioner Lindquist

SECOND BY: Commissioner Baldin

AYES: Szymanski, Baldin, Galey, Lindquist, MacDonald, Saeed, Zuccherro

RESULT: APPROVAL

D. CURRENT BUSINESS

1. Crescent Glenwood Parking Lot and Crescent Boulevard Streetscape Improvements – Engineer Daubert introduced the current business noting that two design alternatives have been developed for the Crescent and Glenwood Parking Lot and Streetscape Improvements along Crescent Boulevard. He noted that staff is ultimately looking for a recommendation from the CIC on its preferred alternative, or an iteration thereof, to be presented to the Village Board in January as to solicit Board direction to finalize the project design.

Engineer Daubert turned the presentation over to Assistant Village Engineer Peebles. Peebles provided a recap of prior review of the project by the Capital Improvements Commission and Board. He then introduced the two design alternatives.

The first design alternative is noted as the granite curb planter alternative. The granite curb alternative essentially matches the design of the Village's streetscape project. It has the 5' wide brick paver furniture zone with trees located within granite curb planters within the furniture zone. Adjacent to the furniture zone is a 6' wide concrete sidewalk followed by a 6' wide band of pavers between the sidewalk and the Crescent Glenwood Parking Lot.

The second design alternative is noted as the continuous curb planter alternative. It features a narrow 16-inch band of pavers along the back of curb along Crescent Boulevard, followed by a 7' wide concrete sidewalk, followed by an 8' wide plain concrete curb planters between the sidewalk and Crescent Glenwood Parking Lot.

Engineer Daubert noted that with the first design alternative, granite curb planter, there is a 16-inch wide concrete carriage walk along the back of the curb along Crescent Boulevard. Engineer Daubert also pointed out that the widths and alignments of the sidewalks are different with the two alternatives. He noted that the granite curb alternative sidewalk better aligns with the sidewalk to the east of the parking lot but that the offset for the continuous curb planter is not unreasonable. Daubert noted that the footprint and parking space count for the two lots is the same.

Aside from the prior noted sidewalk, planter, and paver differences along Crescent Boulevard, other differences between the alternatives are noted include screening, pervious area, sidewalk/paver area cross slopes, lighting, and costs. Assistant Village Engineer Peebles

overviewed that the Village's comprehensive plan update calls for screening of parking lots. While both plans will include more trees than existing, design alternative 2, continuous planter, has more trees than alternative 1 and maintains the screening along the parking lot whereas alternative 1, granite curb planter, has the screening along Crescent Boulevard. The amount of pervious surface area is shown for the existing condition (5,018 SF), Alternative 1 – Granite Planter (2,921 SF), and Alternative 2 Continuous Planter (4,805 SF); i.e. Alternative 2 is the best scenario as it closely matches the existing pervious area. A typical cross section of alternative 1, granite curb planter, is shown with cross slope of the pavers being 7.53% between the sidewalk and parking lot. This is not as much of an issue with Alternative 2 as the planters are noted to interrupt the grade difference between the sidewalk on Crescent and the parking lot. In terms of lighting, it was noted that both alternatives would provide the same parking lot lighting levels; however, the first design alternative, granite curb planter, includes the typical Village street light poles and fixtures within the furniture zone along Crescent Boulevard as well as taller mast arm style lights for the parking lot. With the continuous curb planter alternative, a combination pole is specified with the upper lighting fixture being for the parking lot and a lower fixture for the sidewalk/street. Assistant Village Engineer Peebles reviewed the cost differences between the two alternatives with the slide deck showing that the continuous curb planter is estimated to be \$556,454 less than the granite curb alternative. The main drivers for the increased cost of the granite curb alternative are shown to be the granite curb planters (\$144,738), brick pavers (\$142,807), soil cells (\$129,322), lighting (\$96,098), and seat walls (\$89,931). The offsetting cost reductions (to get to the \$556,454 delta) were not shown.

Commissioner Baldin inquired about the medians within the parking lots and if we would look at eliminating them to provide clearer pedestrian connections between the parking lot and sidewalk along Crescent Boulevard. Assistant Village Engineer Peebles noted that we do have pedestrian connections within the parking lot but it was emphasized by Baldin that the islands could be removed to clarify where pedestrians are to walk. Commissioner Galey inquired about what the code requires in terms of landscaping in the islands. Engineer Daubert noted that the zoning code does not specifically require trees but the intent with landscaped parking lot islands should be to plant trees to reduce urban heat impact of large paved areas. Having said that, Public Works did push back on the islands as we do not feel they will well support landscaping along the south side of the lots and there has been input provided to maintain as much parking as possible, particularly with the Metra Station Project. Commissioner Lindquist adds that the curb cuts for pedestrians are not as obvious and it would be better to eliminate islands and add striping to identify the areas for pedestrians to walk.

Chair Szymanski inquires if any events are planned in the parking lot such as the ice skating rink that was previously located in the lot. Director Buckley notes he doesn't think the lot will be used for events such as ice skating given the downtown park planned for the former US Bank property. He adds that when past events were held in the lot, they required the closure of Crescent Boulevard to have enough space to function. Buckley adds that with the new Glenwood Station Residential Development, the only ingress and egress to the building is from Crescent Boulevard so we cannot fully close the street. Discussion ensued on how part of the street could be closed but again, events are being held in other lots including down at College of DuPage for the carnival.

Other details of the design were discussed including the number of bike racks (make sure we provide enough and in proper locations), parking lot lighting occupancy sensors (under review during further design), plantings, and sidewalk connection at the southwest corner of the lot. With respect to the sidewalk connection at the southwest corner of the lot, it was discussed that the sidewalk connection could be of some benefit but from safety aspects, it would be better to not

have the connection and encourage pedestrians to walk down Prospect Boulevard and Crescent Boulevard in lieu of in the parking lot.

Chair Szymanski suggested that when we present the matter to the Board, we have one slide that summarizes all of the design aspects of the two alternatives as to allow for easier comparison. Staff agreed.

Commissioners were polled on their preferred alternative. Commissioner Baldin notes that he likes design alternative 2, continuous curb, with consideration of eliminating the landscaped islands in the lot to provide clearly identified and unobstructed pedestrian walking areas between the parking lot and sidewalk along Crescent Boulevard. Commissioners Galey, Lindquist, MacDonald, Saeed, and Zuccherro as well as Chair Szymanski support design alternative 2, continuous curb. Common support factors of support were screening, number of trees, and cost savings. Commissioner Saeed makes a motion for recommending design alternative 2 with Commissioner Galey suggesting the addition of a flexible condition for the removal of the landscaped islands. The motion is made and approved by the Commission.

MOTION TO RECOMMEND AS PART OF THE DESIGN OF THE CRESCENT GLENWOOD PARKING LOT AND CRESCENT BOULEVARD STREETCAPE IMPROVEMENTS, THE CAPITAL IMPROVEMENTS COMMISSION RECOMMENDS DESIGN ALTERNATIVE 2, CONTINUOUS CURB PLANTER, WITH CONSIDERATION TO REMOVE THE LANDSCAPE ISLANDS AND INSTEAD PROVIDE CLEAR PEDESTRIAN CONNECTIONS BETWEEN THE PARKING LOT AND SIDEWALK ALONG CRESCENT BOULEVARD.

MOTION BY: Commissioner Saeed

SECOND BY: Commissioner Galey

AYES: Szymanski, Baldin, Galey, Lindquist, MacDonald, Saeed, Zuccherro

RESULT: APPROVAL

- E. TRUSTEE’S REPORT** – Acting Village President Simon notes that the Village passed the budget in November. Simon adds that the approved budget included all staff identified essential items.

President Simon thanks the Commission for all its time and efforts this year. Simon would like to clarify that the Board does listen and take the input of the Village’s Commissions, but the Board also considers other factors in making decisions.

F. OTHER BUSINESS

1. DuPage County Safety Action Plan – Engineer Daubert noted that CMAP is leading a regionwide initiative whereby the counties in northeastern Illinois are developing safety action plans. The plans are context specific to the counties with DuPage County in the process of developing its safety action plan. Engineer Daubert noted he is serving on the sixteen-member steering committee and providing input on the plan including noting some of the specific initiatives we have advanced such as curb extensions, leading pedestrian intervals. Engineer Daubert noted that he has also shared some of the challenges we have faced in trying to implement certain plans with the group discussing

ways to overcome opposition to certain improvements. Engineer Daubert summarized that generally speaking the region is heading in the wrong direction in terms of traffic safety. Fatalities and debilitating injuries are on the rise. The goal of developing a safety plan is to develop real measures in education/outreach, enforcement, and engineering to ideally eliminate but more realistically reduce traffic accident related fatalities and injuries. Daubert noted that this topic is also being raised due to a recent commissioner's experiences.

Commissioner Zuccherro shared that both he and his daughter were struck by motorists this year while walking in downtown Glen Ellyn. He shared that he was hit at Main and Duane and Commissioner Zuccherro and Engineer Daubert both note that this is a location that we reviewed for geometric changes, specifically eliminating a turn lane and further extending bumpouts, as part of the CBD Streetscape Project. Commissioner Zuccherro noted he is lucky that he was hit by a car and not a more common taller vehicle such as an SUV. His daughter was also fortunate to not be seriously hurt when she was struck by a vehicle at Park and Duane. Zuccherro noted that generally speaking our downtown is very car centric and it should be more pedestrian focused. There are lighting issues especially along Park Boulevard. He's glad to see that DuPage County is implementing a safety action plan but we can and need to do better. Engineer Daubert noted that we're not the only ones seeing challenges, it has been a regionwide issue for a long time but it is getting worse. Engineer Daubert noted specific issues that we have debated with staff on at specific locations that the public are now commenting on with safety concerns. Examples included Park Boulevard at the Prairie Path where there are differing opinions on whether traffic should stop before the tracks to allow pedestrians to cross Park Boulevard; Hill and Taylor is another location where some staff suggested all way stop control but there was some internal push back on the matter. Daubert notes that we continue to see crashes at this intersection. Concerns have also been noted along Park Boulevard at Fairview Avenue due to vehicles not fully stopping. Engineer Daubert noted that development of the plan will continue through next year with the County ultimately adopting the plan. The plan will help reinforce actions that the Village can take to support safety. Commissioner Zuccherro stated that the Board needs to take Engineer Daubert and the other Traffic Engineer's input into serious consideration when making decisions. Engineer Daubert noted that we did implement a lot of improvements in the community and while most were supported, some were not. One of the biggest items that is being pushed is getting vehicles to slow down. There's more to it than just lowering the speed limit, enforcement and engineering need to support lower speeds. Commissioner Lindquist noted that Wheaton lowered their speed limits. Discussion ensued that many communities do have 25 mph as their speed limit; Glen Ellyn follows the state default of 30 mph. This may be another matter to visit. Acting Village President Simon notes that scooter and e-bikes will be discussed at a Board Workshop.

- G. PUBLIC WORKS REPORT** – Public Works Director Buckley noted that we are ready for winter operations. The new brine maker is operational. Something we are reviewing is potentially spraying brine on sidewalks in the CBD. Downtown holiday events and tree lighting went well. We have new maintenance workers coming on board for utilities and streets. We are working on a second interview for the engineering technician position. We are continuing to work through identification and planning for replacement of lead water services.

- H. PROJECT REPORT** – Engineer Daubert gave a brief update on the CBD Streetscape and Utility Improvements Project noting that construction is largely wrapped up for the year. Some sewer lining work will be completed in early 2025. Daubert notes the 2024 Utility and Roadway Improvements Project is also substantially wrapped up, there will be some punch list landscaping items that will be completed in the spring of 2025. Daubert lastly gave an update on the Metra Station and Multimodal Access Improvements project AAC Meeting and requested Design Revisions, Grant Applications, and ongoing 60% Plan Reviews.
- I. ADJOURNMENT** – Commissioner Saeed motions and Commissioner Baldin seconds to adjourn the meeting. The motion is unanimously approved and meeting adjourned at 10:10 p.m.

Submitted and Reviewed by: Richard Daubert, Professional Engineer



**Glen Ellyn Capital
Improvements Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 1/8/2025 7:00 PM
Department: Public Works
Department Head: Dave Buckley
Category: Discussion Item
Prepared By: Richard Daubert

**AGENDA ITEM (ID # 2025-
9)**

DOC ID: 2025-9

Metra Station and Multimodal Access Improvements Project - 60 Percent Design Plan Excerpts and Cost Estimate

Statement of the Issue:

As the CIC is aware, staff is currently reviewing the 60 Percent Plans, Special Provisions, and Cost Estimate for the Metra Station and Multimodal Access Improvements Project with staff working towards finalizing its review comments for CDM Smith by January 15, 2025. Staff is providing applicable excerpts of the 60 Percent Plans along with the Cost Estimate to the Capital Improvements Commission as part of this agenda item. Staff notes that many of the CIC and Village Board's previous input on the project is reflected in this plan set. Having said that, staff would appreciate any questions and/or input on the documents at this time. To ease review, staff would suggest focusing on the big picture aspects of the project which can be seen in drawings 301-305. In reviewing the cost estimate, please note that this is for construction only. It does not include construction engineering, the prior phases of engineering, nor any real estate costs associated with UP approvals to complete the project on UP property. Initially some costs, such as the underground utility work, are high relative to what the Village sees on its projects. However, the overall message is that the project cost is greater than desired. Staff and CDM Smith are accordingly closely evaluating the cost estimate to determine any measures that can be taken to reduce costs. This will also serve to support staff in requesting that Metra and ICC provide additional funding for the station, platform, and underpass components of the project.

Analysis:

Budget Impact:

Contribution to Strategic Plan

Action Requested:

Attachments:

1. 60 Percent Plan Excerpts

2. 60 Percent Cost Estimate

GENERAL NOTES

1.

Landscape Contractor shall verify all utility locations (existing and proposed) along with existing conditions and grades (existing and proposed), and note any discrepancies to owner, Engineer, and Landscape Architect immediately, before proceeding with any work.
2.

Base information for these plans was taken from Engineer's site survey, geometric, and grading plans. Contractor shall verify all dimensions and locations of existing and proposed features, and familiarize themselves with any obstacles encumbering the installation of this project.
3.

All soil/underground conditions shall be referred to soil testing reports prepared by the owner's consultant.
4.

Any archeological information relevant to these plans shall be referred to archeological survey and reports (if appropriate to job site) by the owner's consultant.
5.

All surface drainage shall be diverted away from structures and noted site features in all areas as shown on the Civil Engineer's grading plans. Surface drainage shall be diverted to existing or proposed basin structures or inlets as directed by the grading plans. Any site underdrainage as shown in the landscape drawings shall be provided at Landscape Architect's direction. Where poor subsurface drainage conditions occur in the field, Contractor shall notify Landscape Architect immediately and make recommendations for solutions to drainage issues before proceeding with work.
6.

Where possible, and at Engineer's approval and per code, all underdrainage shall be tied into existing or proposed storm structures.
7.

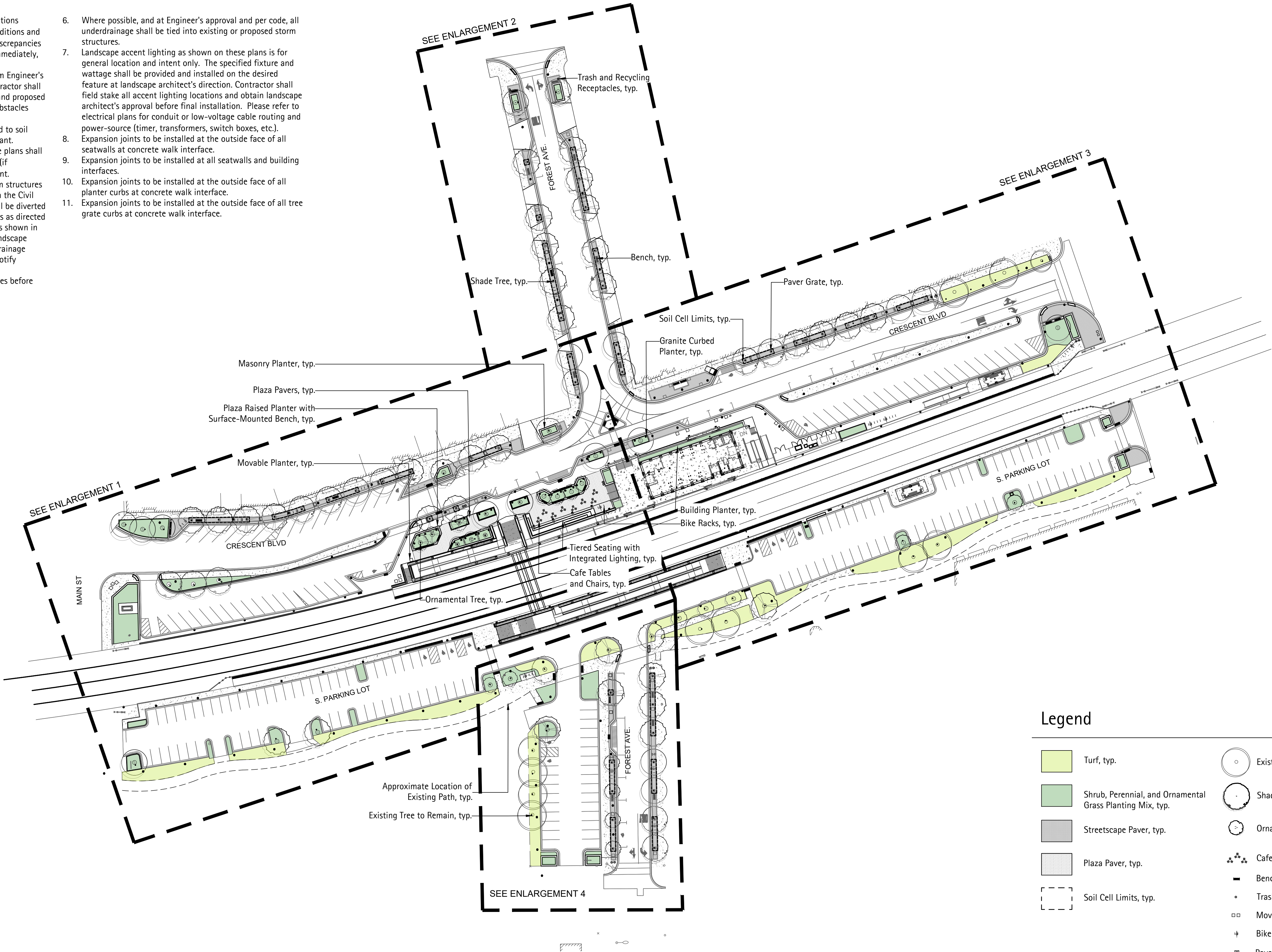
Landscape accent lighting as shown on these plans is for general location and intent only. The specified fixture and wattage shall be provided and installed on the desired feature at landscape architect's direction. Contractor shall field stake all accent lighting locations and obtain landscape architect's approval before final installation. Please refer to electrical plans for conduit or low-voltage cable routing and power-source (timer, transformers, switch boxes, etc.).
8.

Expansion joints to be installed at the outside face of all seatwalls at concrete walk interface.
9.

Expansion joints to be installed at all seatwalls and building interfaces.
10.

Expansion joints to be installed at the outside face of all planter curbs at concrete walk interface.
11.

Expansion joints to be installed at the outside face of all tree grate curbs at concrete walk interface.



Legend

- Turf, typ.

Shrub, Perennial, and Ornamental Grass Planting Mix, typ.

Streetscape Paver, typ.

Plaza Paver, typ.

Soil Cell Limits, typ.
- Existing Tree to Remain, typ.

Shade Tree, typ.

Ornamental Tree, typ.

Cafe Tables and Chairs, typ.

Bench, typ.

Trash Receptacle, typ.

Movable Planter, typ.

Bike Racks, typ.

Paver Grate, typ.



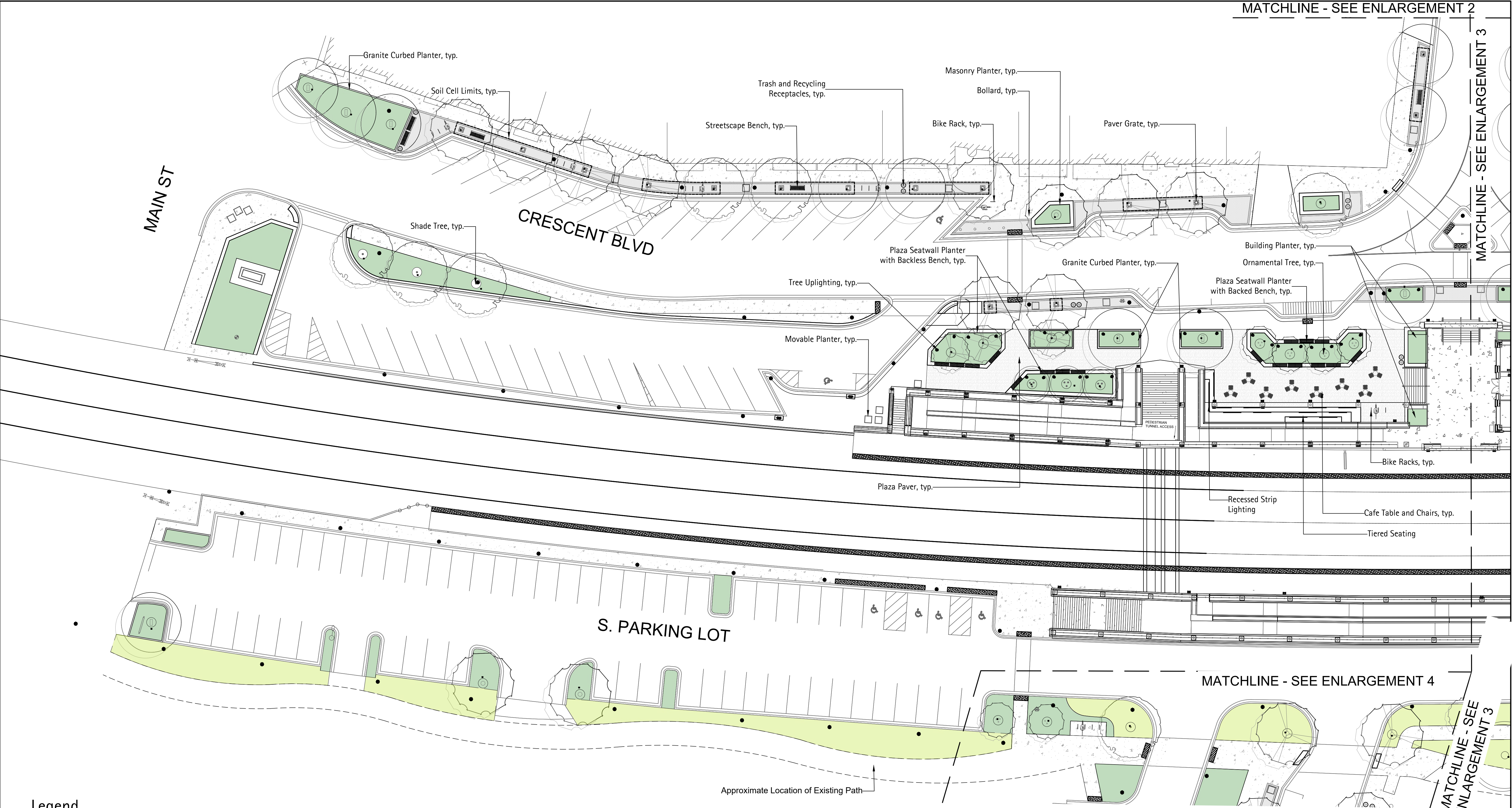
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PLOT SCALE	=	CHECKED	-	MC	REVISED	-
PLOT DATE	=	DATE	-	NOVEMBER 2024	REVISED	-

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

LANDSCAPE - OVERALL SITE PLAN

SCALE: 1:50 SHEET OF SHEETS STA. TO STA.

F.A. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
				301
CONTRACT NO. -				
ILLINOIS FED. AID PROJECT				



Legend

- Turf, typ.

Shrub, Perennial, and Ornamental Grass Planting Mix, typ.

Streetscape Paver, typ.

Plaza Paver, typ.
- Existing Tree to Remain, typ.

Shade Tree, typ.

Ornamental Tree, typ.
- Soil Cell Limits, typ.

Paver Grate, typ.
- Streetscape Bench, typ.

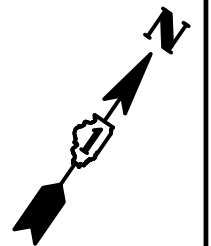
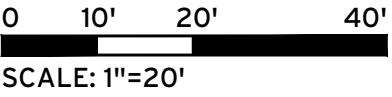
Seatwall Bench (backless and backed), typ.

Trash Receptacle, typ.

Movable Planter, typ.

Bike Racks, typ.

Cafe Tables and Chairs, typ.



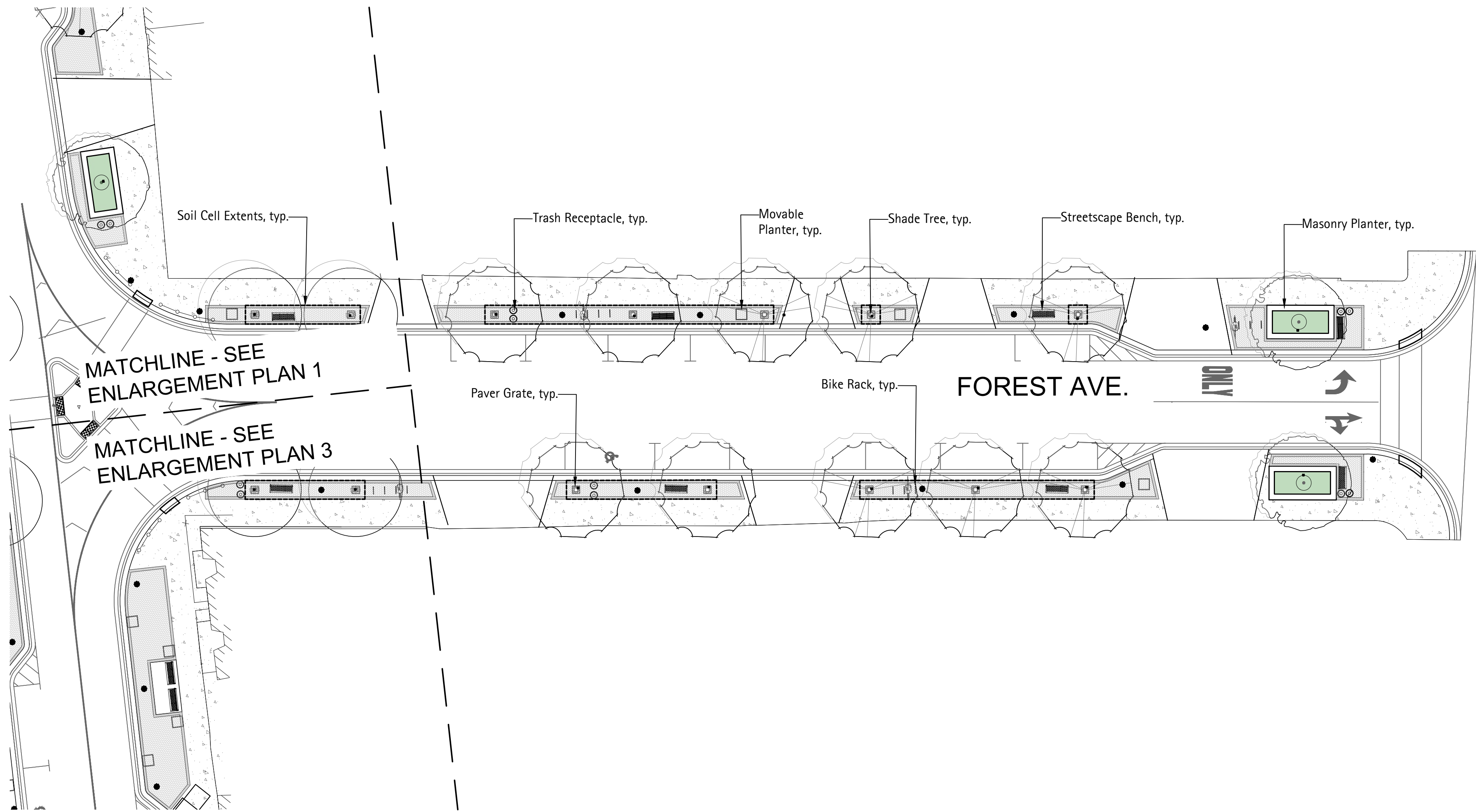
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ISSUED FOR	60 PCT	DRAWN	-	KD	REVISED	-
PLOT SCALE	=	CHECKED	-	MC	REVISED	-
PLOT DATE	=	DATE	-	NOVEMBER 2024	REVISED	-

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

LANDSCAPE - ENLARGEMENT PLAN 1

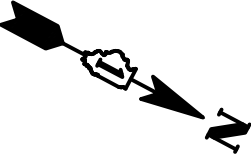
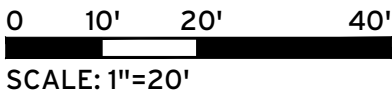
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F.A. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
		DUPAGE		302
		CONTRACT NO.		
ILLINOIS FED. AID PROJECT				



Legend

- Turf, typ.
- Shrub, Perennial, and Ornamental Grass Planting Mix, typ.
- Streetscape Paver, typ.
- Plaza Paver, typ.
- Soil Cell Limits, typ.
- Shade Tree, typ.
- Paver Grate, typ.
- Streetscape Bench, typ.
- Trash Receptacle, typ.
- Movable Planter, typ.
- Bike Racks, typ.

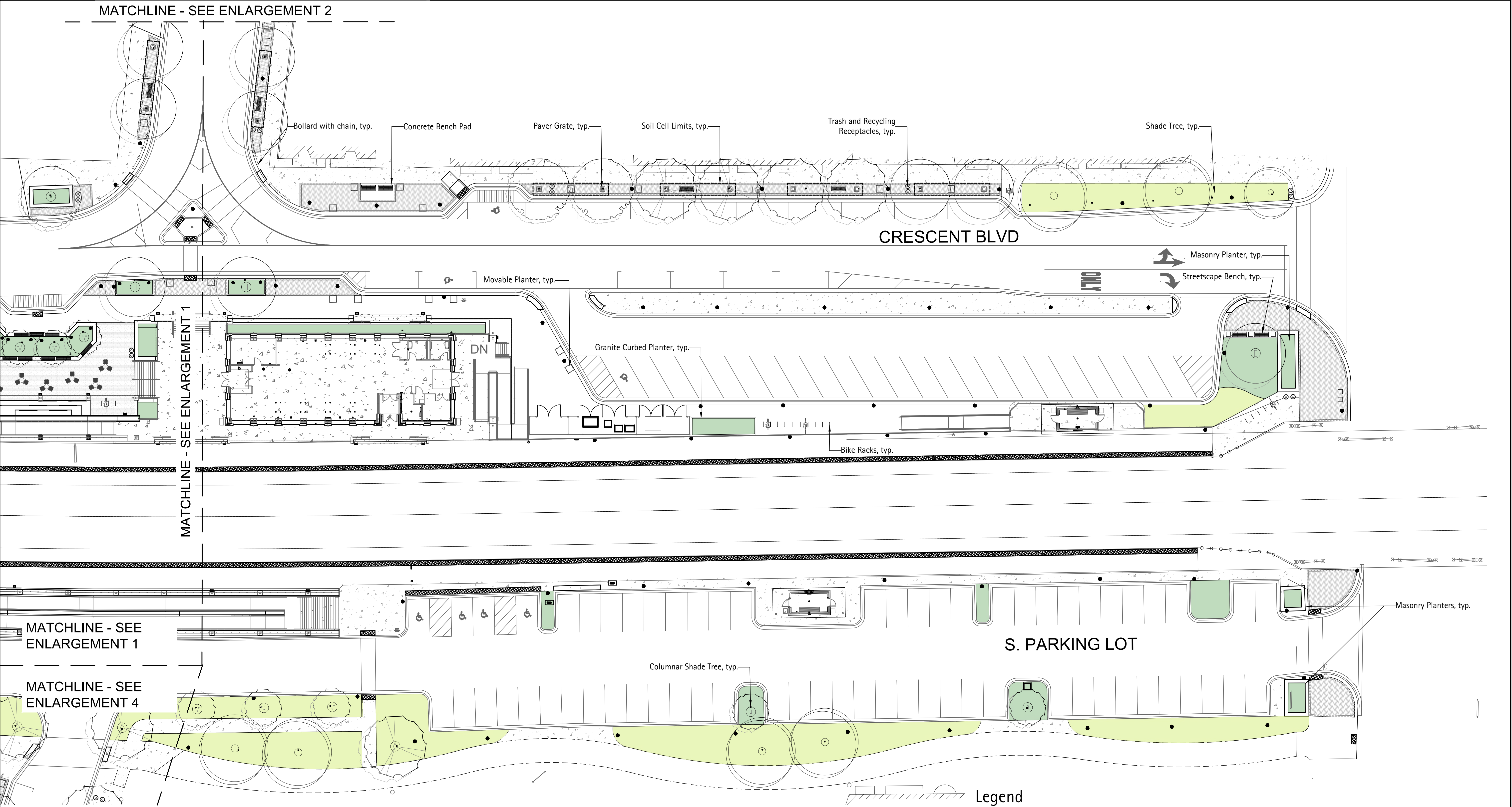


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ISSUED FOR	60 PCT	DRAWN	-	KD	REVISED	-
PLOT SCALE	=	CHECKED	-	MC	REVISED	-
PLOT DATE	=	DATE	-	NOVEMBER 2024	REVISED	-

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

LANDSCAPE - ENLARGEMENT PLAN 2			
SCALE: 1:20	SHEET	OF	SHEETS
STA.	TO STA.		

F.A. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
	-	DUPAGE		303
CONTRACT NO. _				
ILLINOIS FED. AID PROJECT				



Legend

Turf, typ.

Shrub, Perennial, and Ornamental Grass Planting Mix, typ.

Streetscape Paver, typ.

Plaza Paver, typ.

Existing Tree to Remain, typ.

Shade Tree, typ.

Ornamental Tree, typ.

Soil Cell Limits, typ.

Streetscape Bench, typ.

Seatwall Bench (backless and backed), typ.

Trash Receptacle, typ.

Movable Planter, typ.

Bike Racks, typ.

Cafe Tables and Chairs, typ.

Paver Grate, typ.

0 10' 20' 40'

SCALE: 1"=20'

CDM Smith

USER NAME =
ISSUED FOR 60 PCT

PLOT SCALE =

PLOT DATE =

DESIGNED - KC / KD

DRAWN - KD

CHECKED - MC

DATE - NOVEMBER 2024

REVISED -

REVISED -

REVISED -

REVISED -

STATE OF ILLINOIS

DEPARTMENT OF TRANSPORTATION

LANDSCAPE - ENLARGEMENT PLAN 3

SCALE: 1:20

SHEET OF SHEETS

STA. TO STA.

F.A. RTE.

SECTION

COUNTY

DUPAGE

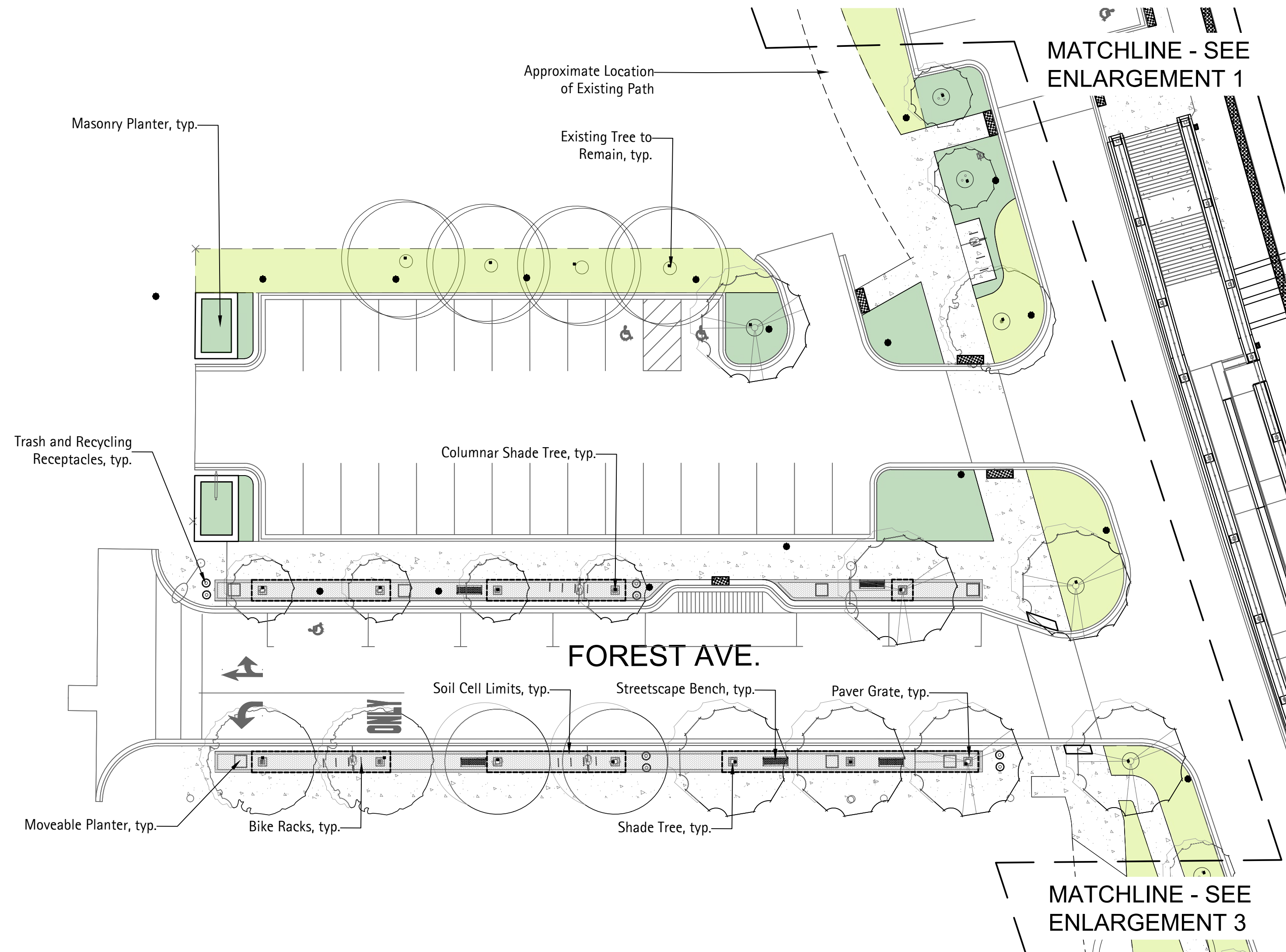
CONTRACT NO. -

TOTAL SHEETS

SHEET NO.

304

ILLINOIS FED. AID PROJECT



Legend

	Turf, typ.		Existing Tree to Remain, typ.		Streetscape Bench, typ.
	Shrub, Perennial, and Ornamental Grass Planting Mix, typ.		Shade Tree, typ.		Trash Receptacle, typ.
	Streetscape Paver, typ.		Ornamental Tree, typ.		Movable Planter, typ.
	Plaza Paver, typ.		Paver Grate, typ.		Bike Racks, typ.
	Soil Cell Limits, typ.				

0 10' 20' 40'
SCALE: 1"=20'



USER NAME	=	DESIGNED	-	KC / KD	REVISED	-
ISSUED FOR	60 PCT	DRAWN	-	KD	REVISED	-
PLOT SCALE	=	CHECKED	-	MC	REVISED	-
PLOT DATE	=	DATE	-	NOVEMBER 2024	REVISED	-

STATE OF ILLINOIS
DEPARTMENT OF TRANSPORTATION

LANDSCAPE - ENLARGEMENT PLAN 4

SCALE: 1:20 SHEET OF SHEETS STA. TO STA.

F.A. RTE.	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
	-	DUPAGE		305
CONTRACT NO. _				
ILLINOIS FED. AID PROJECT				

Glen Ellyn METRA Station
551 Crescent Boulevard
Glen Ellyn, IL 60137

60% Design Development Cost Estimate
December 24, 2024



Vistara Construction Services, Inc.
728 West Jackson Boulevard, Suite 526
Chicago, IL 60661
www.vistara.com



ESTIMATORS STATEMENT OF PROBABLE



Glen Ellyn METRA Station

551 Crescent Boulevard

Glen Ellyn, IL 60137

60% Design Development Cost Estimate

12/24/2024

	DESCRIPTION	TOTAL (\$)
A	INBOUND STATION	\$ 7,484,700.00
B	OUTBOUND STATION	N/A
C	PEDESTRIAN UNDERPASS	\$ 17,080,100.00
E	PLATFORMS	\$ 6,364,000.00
F	INBOUND WARMING SHELTER	\$ 459,500.00
G	OUTBOUND WARMING SHELTER	\$ 459,600.00
H	SITEWORK	\$ 14,509,800.00
TOTAL PROJECT COST		\$ 46,357,700.00

NOTES

- 1 Pricing is current as of Qtr4. 2024 and suitable contingencies are included for escalation/ phasing
- 2 The labor rates included are based on prevailing wages in Cook County, IL
- 3 Sole source procurement is not included.
- 4 Permit Fee is included

EXCLUSIONS

- 1 Professional Design Fees
- 2 Owner Required Testing
- 3 Owner's Contingency/ Scope changes
- 4 Construction Contingency
- 5 Finance and Legal Charges
- 6 Loose Furniture
- 7 Equipment unless noted
- 8 Artwork
- 9 Non-Fixed AV Equipment
- 10 Telephone/ Data / Security Equipment
- 11 Abatement / Mitigation and Disposal of Hazardous materials, soils
- 12 Relocation costs
- 13 FF&E
- 14 Escalation

BIDDING PROCESS/ MARKET CONDITIONS

- 1 Pricing reflects probable construction costs obtained in the State of Illinois in 2024. the estimate is a fair determination of market value for the construction of this project. It is not a prediction of low bid. Pricing assumes competitive bidding for each trade and includes a minimum of 3 bids per sub contracted work. Our experience indicates that the fewer the number of bids, the higher the possibility of a higher total cost.



ESTIMATORS STATEMENT OF PROBABLE CONSTRUCTION COSTS



Glen Ellyn METRA Station

551 Crescent Boulevard

Glen Ellyn, IL 60137

Station (Inbound) (SF)

3,695

Station (Outbound) (SF)

N/A

w/ Canopy (SF)

7,490

60% Design Development Cost Estimate

12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
INBOUND STATION						
	Demolish Existing Station Building (~2226SF)	1	LS	\$ 56,840.00	\$ 56,840.00	
	Demolish Existing Shelter Building (~278SF)	1	LS	\$ 11,720.00	\$ 11,720.00	
	Haul/ Disposal	1	LS		\$ -	
CONCRETE						
S511	Strip Footing	154	CY	\$ 975.00	\$ 150,150.00	
	Reinforcement (100Lbs/ CY)	7.70	Tons	\$ 3,800.00	\$ 29,260.00	
	Foundation Wall	226	CY	\$ 1,300.00	\$ 293,800.00	
	Reinforcement (180Lbs/ CY)	20.34	Tons	\$ 3,800.00	\$ 77,290.00	
	Arched Concrete Walls	140	CY	\$ 1,300.00	\$ 182,580.00	
	Reinforcement (150Lbs/ CY)	10.53	Tons	\$ 3,800.00	\$ 40,030.00	
	Isolated Column Footings (16 EA)	30	CY	\$ 1,462.50	\$ 43,880.00	
	Piers (30 EA)	195	CY	\$ 1,462.50	\$ 285,190.00	
	Reinforcement (150Lbs/ CY)	16.88	Tons	\$ 3,800.00	\$ 64,130.00	
	6" Slab on Grade - Include Reinforcement	103	CY	\$ 45.00	\$ 4,620.00	
	12" CA-6, Compacted - Under 6" Slab (Assumed)	205	CY	\$ 95.00	\$ 19,490.00	
	Construction Joints in Slabs	760	LF	\$ 4.00	\$ 3,040.00	
A416	Concrete Stairs/Steps					
	(5'-8" Wide x 9 Riser) Concrete Stair/Steps	1	EA	\$ 20,412.00	\$ 20,410.00	
	(14'-10" Wide x 11 Riser) Concrete Stair/Steps	1	EA	\$ 65,252.00	\$ 65,250.00	
	(13'-0" Wide x 11 Riser) Straight Stair/Steps	1	EA	\$ 57,200.00	\$ 57,200.00	
	6" Concrete Ramp Slab - Include Reinforcement. Subgrade (No Details)	485	SF	\$ 45.00	\$ 21,830.00	
MASONRY						
A423	CMU Wall Assembly					
	8" CMU Wall, 2" Rigid Insulation (R11.4), on 2" Z-Furring Channels, 3 5/8" Metal Studs, 5/8 Gyp Bd, Continuous Weather Barrier	1,615	SF	\$ 38.25	\$ 61,780.00	
	4" CMU at Columns (11 EA)	138	SF	\$ 34.00	\$ 4,680.00	
A427, A428	Exterior Finish					
	E-BRK-01 - 4" Unit Brick, Summit Brick Company Modular Size, Cherry Creek	1,460	SF	\$ 41.00	\$ 59,860.00	
	E-ST-01 - 4-5/8" Cast Stone Veneer, Architectural Cast Stone	2,417	SF	\$ 112.50	\$ 271,910.00	
	E-ST-02 - Adhered Stone Veneer Mortar Setting Bed, Weather Barrier, Eldorado Stone Manufactured Stone, Roughcut Casa Blanca	1,640	SF	\$ 68.00	\$ 111,520.00	
	Cast Stone Coping - 4/431	155	LF	\$ 68.00	\$ 10,540.00	
	Stone Precast Sill	320	LF	\$ 56.00	\$ 17,920.00	
	Stone Window Sill - E-ST-01	160	LF	\$ 56.00	\$ 8,960.00	
	Caulking and Sealant	1	AL	\$ 10,000.00	\$ 10,000.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Station (Inbound) (SF)	3,695
	Station (Outbound) (SF)	N/A
	w/ Canopy (SF)	7,490
	60% Design Development Cost Estimate	
		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE		COST	SUB-TOTAL
METALS							
S512	Columns						
	W10x33 Columns - (21 EA)	6	Tons	\$ 6,950.00	\$	39,840.00	
	HSS Posts - (6 EA)	1	Tons	\$ 8,500.00	\$	8,800.00	
	Beams						
	W Beams	16	Tons	\$ 6,950.00	\$	110,610.00	
	HSS Beams	7	Tons	\$ 8,500.00	\$	60,670.00	
	Roof Framing						
	HSS Truss Framing						
	(47'-0" W) HSS Trusses	13	EA	\$ 10,575.00	\$	137,480.00	
	Connection Plates, Base Plates, etc.	4	Tons	\$ 6,950.00	\$	31,090.00	
A416	Stair Railings						
	R1 - (3'-6" H) Guard Rail w/ Hand Rail	245	LF	\$ 135.00	\$	33,080.00	
	R2 - (3'-6" H) Metal Guard Railing	120	LF	\$ 162.00	\$	19,440.00	
WOOD AND PLASTICS							
	Rough Carpentry:						
	Wood Blocking/ Deck Allowance	3,695	SF	\$ 8.00	\$	29,560.00	
	Finish Carpentry:						
	Millwork/ Casework/Countertop	1	AL	\$ 15,000.00	\$	15,000.00	
THERMAL AND MOISTURE PROTECTION							
A425	Asphalt Roof Assembly						
A432	Asphalt Shingles - E -RF-01	8,366	SF	\$ 14.00	\$	117,130.00	
A432	Single Ply Roof Membrane	8,366	SF	\$ 18.00	\$	150,590.00	
A432	5/8" Cover Board	8,366	SF	\$ 1.50	\$	12,550.00	
A432	Roof Rigid Insulation - R30 min.	8,366	SF	\$ 6.50	\$	54,380.00	
A432	Vapor Retarder	8,366	SF	\$ 0.50	\$	4,180.00	
A432	5/8" Substrate Board	8,366	SF	\$ 1.50	\$	12,550.00	
A432	Wood Decking	8,366	SF	\$ 12.00	\$	100,400.00	
A424	Metal Plate Soffit - Cold Formed Metal Framing, Glass Mat Gypsum Sheathing, Fluid-Applied Membrane Air Barrier, Mineral Wool Board Insulation, w/ Metal Soffit Panels	2,682	SF	\$ 65.00	\$	174,330.00	
	Metal Plate Soffit (5'-5" H) - Cold Formed Metal Framing, Glass Mat Gypsum Sheathing, Fluid-Applied Membrane Air Barrier, Mineral Wool Board Insulation, w/ Metal Soffit Panels	189	SF	\$ 65.00	\$	12,290.00	
	Aluminum Fascia w/ Blockings	322	LF	\$ 48.00	\$	15,460.00	
	Cont. Metal Gutter	210	LF	\$ 28.00	\$	5,880.00	
	Aluminum Downspouts	105	LF	\$ 35.00	\$	3,680.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Station (Inbound) (SF)	3,695
	Station (Outbound) (SF)	N/A
	w/ Canopy (SF)	7,490
	60% Design Development Cost Estimate	
		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
DOORS AND OPENINGS						
A423	Exterior/Interior Doors + Hardware:					
	(3'-0"x7'-0") Interior Single Leaf Door w/ Frame	5	EA	\$ 3,500.00	\$ 17,500.00	
	(6'-0"x7'-0") Interior Double Leaf Door w/ Frame	2	PR	\$ 7,000.00	\$ 14,000.00	
	(6'-0"x7'-0") Interior Vestibule Glass Door w/ Frame	2	PR	\$ 9,500.00	\$ 19,000.00	
	(6'-0"x7'-0") Exterior Vestibule Entry Glass Door w/ Frame	3	PR	\$ 9,500.00	\$ 28,500.00	
	Door Hardware	16	EA	\$ 4,500.00	\$ 69,750.00	
123, A428, A4	Enclosure / Exterior Glazing					
	Storefront/Vestibule Interior Glass Wall System	265	SF	\$ 80.00	\$ 21,200.00	
	E-SFT-01/ E-GL-01 - Aluminum Storefront w/ Insulated Spandrel Gass, Kawneer North America/ Guardian Glass, 1" Insulated Glass Low -E	935	SF	\$ 115.00	\$ 107,530.00	
	E-SFT-01/ E-GL-02 - Aluminum Storefront w/ Insulated Spandrel Gass, Kawneer North America/ Guardian Glass, 1" Insulated Glass Low -E	322	SF	\$ 115.00	\$ 37,050.00	
	Spandrel w/ Mineral Wool Board Insulation and Metal Back Pan					
	E-LVR-1 - (2'-6" x 2'-6") Prefinished Aluminum Louver	1	EA	\$ 1,125.00	\$ 1,130.00	
	E-LVR-1 - (3'-2" x 3'-10") Prefinished Aluminum Louver, High Performance Coating Finish	1	EA	\$ 2,178.50	\$ 2,180.00	
A423	Partitions:					
	Partition Type - A (10'-0" H)					
	3-5/8" Metal Studs w/ Mineral Batt Insulation w/ 5/8" Water Resistant Gypsum Board on Both Sides	545	SF	\$ 21.00	\$ 11,450.00	
	Partition Type - A1 (10'-0" H)					
	- 3-5/8" Metal Studs w/ Mineral Batt Insulation w/ 5/8" Water Resistant Gypsum Board on Both Sides	350	SF	\$ 21.00	\$ 7,350.00	
	Partition Type - C (10'-0" H)					
	3-5/8" Metal Studs w/ Mineral Batt Insulation w/ 5/8" Water Resistant Gypsum Board on Both Sides	290	SF	\$ 21.00	\$ 6,090.00	
	Partition Type - C (10'-0" H)					
	- 3-5/8" Metal Studs w/ Mineral Batt Insulation w/ 5/8" Water Resistant Gypsum Board on one Side	190	SF	\$15.75	\$ 2,990.00	
	Partition Type - D Furring (10'-0" H)					
	3-5/8" Metal Studs w/ 5/8" Water Resistant Gypsum Board on One Side	1,050	SF	\$15.75	\$ 16,540.00	
	Partition Type - E (10'-0" H)					
	1-5/8" Metal Studs w/ 5/8" Water Resistant Gypsum Board on One Side	100	SF	\$15.75	\$ 1,580.00	
	Partition Type - F (10'-0" H)					
	1-5/8" Metal Studs w/ 5/8" Water Resistant Gypsum Board on One Side	210	SF	\$15.75	\$ 3,310.00	
	Column Enclosure - (15'-6" H)					
	1-5/8" Metal Studs w/ 5/8" Water Resistant Gypsum Board on One Side	899	SF	\$15.75	\$ 14,160.00	
	Upper Partition - (11'-6" H)					
	3-5/8" Metal Studs w/ 5/8" Water Resistant Gypsum Board on One Side	736	SF	\$15.75	\$ 11,590.00	
	Upper Partition - (5'-0" H)					
	3-5/8" Metal Studs w/ 5/8" Water Resistant Gypsum Board on One Side	510	SF	\$15.75	\$ 8,030.00	
A423, A426	Floor Finishes:					
	Ceramic Tile - Toilets	138	SF	\$ 32.00	\$ 4,400.00	
	Sealed Concrete - Electrical, Mechanical/ Utility & Janitor Closet	286	SF	\$ 6.00	\$ 1,720.00	
	Recessed Entrance Mat	226	SF	\$ 65.00	\$ 14,660.00	
	Terrazzo Flooring - Waiting Area & Vendor	2,701	SF	\$ 52.00	\$ 140,430.00	
	Exterior Standing Area Flooring/Pavers	2,503	SF	\$ 28.00	\$ 70,070.00	
	Wall Base	1	AL	\$ 7,500.00	\$ 7,500.00	
	Stone Saddle	8	LF	\$ 60.00	\$ 480.00	
	Transition Strip	20	LF	\$ 40.00	\$ 800.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Station (Inbound) (SF)	3,695
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	w/ Canopy (SF)	7,490
	60% Design Development Cost Estimate	
		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
423,A426, A427	Wall Finishes:					
	Wall Tile - Toilets	890	SF	\$ 32.00	\$ 28,480.00	
	Brick Finish @ Waiting Room	432	SF	\$ 45.00	\$ 19,450.00	
	Paint @ Gyp Walls	4,535	SF	\$ 1.90	\$ 8,620.00	
	Wall Paneling	1	AL	\$ 8,000.00	\$ 8,000.00	
A424	Ceiling Finishes:					
	Open HSS Trusses - Paint (Assumed)	3,196	SF	\$ 3.00	\$ 9,590.00	
	ACT1 - 2' x 2' Acoustic Perforated Metal Ceiling	231	SF	\$ 65.00	\$ 15,020.00	
	GYP1 - Gypsum Board w/ Paint	1,155	SF	\$ 15.00	\$ 17,330.00	
	GYP1 - Soffit	30	LF	\$ 75.00	\$ 2,250.00	
SPECIALTIES						
A426	Toilet Room Accessories: SS and Bobrick					
	Surface Mounted Sanitary Napkin Disposal - TA01	2	EA	\$ 350.00	\$ 700.00	
	Surface Mounted Multi Roll Toilet Tissue Dispenser - TA02	2	EA	\$ 175.00	\$ 350.00	
	18" Grab Bar - TA03	2	EA	\$ 225.00	\$ 450.00	
	36" Grab Bar - TA04	2	EA	\$ 300.00	\$ 600.00	
	42" Grab Bar - TA05	2	EA	\$ 315.00	\$ 630.00	
	22x48 Mirror - TA06	2	EA	\$ 440.00	\$ 880.00	
	Paper Towel Dispenser and Waste Receptacle - TA07	2	EA	\$ 1,500.00	\$ 3,000.00	
	Wall Mounted Soap Dispenser - TA09	2	EA	\$ 135.00	\$ 270.00	
	Baby Changing Station - TA10	2	EA	\$ 3,500.00	\$ 7,000.00	
	(16'-10" x 4'-6") METRA Digital Display	1	AL	\$ 20,000.00	\$ 20,000.00	
	Signage:					
	Interior Signage (addition)	1	AL	\$ 1,500.00	\$ 1,500.00	
	Recessed Fire Extinguisher Cabinets	2	EA	\$ 700.00	\$ 1,400.00	
	10'x22' Trash Enclosure	1	AL	\$ 30,000.00	\$ 30,000.00	

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		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
FIRE SUPPRESSION						
	Sprinkler Heads	34	EA	\$ 135.00	\$ 4,530.00	
FP-641	Distribution Piping - Assume Schedule 40	672	LF	\$ 31.00	\$ 20,830.00	
	DDCA-1, Fire Suppression Double Detector Backflow Preventer	1	EA	\$ 8,500.00	\$ 8,500.00	
	Fire Department Connection	1	EA	\$ 3,500.00	\$ 3,500.00	
	Flow Switch	1	EA	\$ 195.00	\$ 200.00	
	Check Valve	1	EA	\$ 250.00	\$ 250.00	
	Ball Drip Valve	1	EA	\$ 125.00	\$ 130.00	
	Test Valve	1	EA	\$ 250.00	\$ 250.00	
	Pressure Gauge With Clock	2	EA	\$ 450.00	\$ 900.00	
	Water Main Tie In	1	LS	\$ 2,900.00	\$ 2,900.00	
	PIV	1	EA	\$ 4,500.00	\$ 4,500.00	
	Fire Pump				N/A	
	Jockey Pump				N/A	
	Testing/ Balancing	24	HRS	\$ 135.00	\$ 3,240.00	
PLUMBING						
	Service:	3,695	SF	\$ 8.00	\$ 29,560.00	
	Water Sub-Meter - For Tenant Space	1	EA	\$ 3,500.00	\$ 3,500.00	
P-621	RPZ-1 & 2 (WATTS LF009)	2	EA	\$ 925.00	\$ 1,850.00	
	Fixtures					
	WC-1, Water Closet	2	EA	\$ 1,710.00	\$ 3,420.00	
	Lav-1, Lavatory	2	EA	\$ 1,305.00	\$ 2,610.00	
	MS-1, Mop Sink	1	EA	\$ 1,632.00	\$ 1,630.00	
	EW-C-1, Electric Water Cooler	1	EA	\$ 3,850.00	\$ 3,850.00	
	WH-1, Wall Hydrant	4	EA	\$ 850.00	\$ 3,400.00	
	Water Heater					
P-621	EW-H-1, Electric Water Heater (AO SMITH DEL 15)	1	EA	\$ 7,800.00	\$ 7,800.00	
	ET-1 (THERM-X-TROL)	1	EA	\$ 2,650.00	\$ 2,650.00	
	EW-H-2, Electric Water Heater (EEAMX AM007240T)	1	EA	\$ 3,708.00	\$ 3,710.00	
	EW-H-3, Electric Water Heater (EEAMX AM007240T)	1	EA	\$ 3,708.00	\$ 3,710.00	
P-621	SP-1, Sump Pump (LIBERTY PUMPS 283)	1	EA	\$ 6,608.00	\$ 6,610.00	
	Sump Pump Control (Provided By Manufacturer)	1	EA	\$ 4,500.00	\$ 4,500.00	
	Rough In	1	LS	\$ 22,700.00	\$ 22,700.00	
	Drains/Hose bib					
	FD-1, Floor Drain	2	EA	\$ 735.00	\$ 1,470.00	
	FD-2, Floor Drain	3	EA	\$ 735.00	\$ 2,210.00	
	HB-1, Exterior Hose Bib	2	EA	\$ 650.00	\$ 1,300.00	
	Transition Boot to Connect to Gutter Downspout	3	EA	\$ 250.00	\$ 750.00	
	FCO- Floor Clean Out	4	EA	\$ 735.00	\$ 2,940.00	

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		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
	Domestic Water Distribution				\$ -	
	1/2" CW	47	LF	\$ 18.00	\$ 850.00	
	3/4" CW	84	LF	\$ 22.00	\$ 1,850.00	
	1" CW	5	LF	\$ 26.00	\$ 140.00	
	1-1/2" CW	17	LF	\$ 34.00	\$ 580.00	
	2" CW	37	LF	\$ 48.00	\$ 1,760.00	
	6" CW	28	LF	\$ 185.00	\$ 5,170.00	
	3/4" NPW	241	LF	\$ 22.00	\$ 5,300.00	
	3" VTR: Vent Thru Roof	3	EA	\$ 94.00	\$ 280.00	
	Sanitary Waste/Vent					
	1-1/2" SAN	11	LF	\$ 34.00	\$ 380.00	
	2" SAN	102	LF	\$ 48.00	\$ 4,900.00	
	3" SAN	14	LF	\$ 94.00	\$ 1,340.00	
	4" SAN	104	LF	\$ 112.00	\$ 11,600.00	
	2" V	67	LF	\$ 48.00	\$ 3,240.00	
	Storm Water Drainage				\$ -	
	4" RD	195	LF	\$ 112.00	\$ 21,870.00	
	2" SW	93	LF	\$ 48.00	\$ 4,450.00	
					\$ -	
	HVAC					
	Air Handling Unit					
M-607	AHU-1, Air Handling Unit (TRANE CSAA010), Supply CFM: 5000	1	EA	\$ 160,000.00	\$ 160,000.00	
	AHU-1 Control Panel (Provided By Manufacturer)	1	EA		Incl.	
	ACC-1, Air Cooled Condensing Unit (TRANE TWA120)	1	EA		Incl.	
	ACC-1 Control Panel (Provided By Manufacturer)	1	EA		Incl.	
	Ductless Split System					
	ACU-1 (466 CFM, 12 MBH, DAIKEN, FTX09BXVJU/RXS09BXVJU)	1	EA	\$ 19,500.00	\$ 19,500.00	
	ACC-2	1	EA		Incl.	
	EF-1 Exhaust Fans (350CFM, GREENHECK SQ-90-VG)	1	EA	\$ 2,454.00	\$ 2,450.00	
	EUH-1 - Electric Unit Heater (TRANE UHAA)	1	EA	\$ 2,604.00	\$ 2,600.00	
	EUH-2 - Electric Unit Heater (TRANE UHAA)	1	EA	\$ 2,604.00	\$ 2,600.00	
	Ductwork LBS - Assumed 20 Ga.	2,133	LBS	\$ 22.00	\$ 46,930.00	

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DESCRIPTION		QTY.	UNIT	UNIT PRICE		COST	SUB-TOTAL
	Ductwork Insulation	1,536	SF	\$	14.00	\$ 21,510.00	
	6"	11	LF			Incl.	
	8"	12	LF			Incl.	
	10"	48	LF			Incl.	
	14"	20	LF			Incl.	
	16"	23	LF			Incl.	
	18"	20	LF			Incl.	
	20"	61	LF			Incl.	
	8"x8"	47	LF			Incl.	
	12"x12"	5	LF			Incl.	
	18"x36"	11	LF			Incl.	
	18"x46"	11	LF			Incl.	
	20"x20"	18	LF			Incl.	
	26"x26"	29	LF			Incl.	
	42"x18"	6	LF			Incl.	
	Diffuser/Grille	23	EA	\$	350.00	\$ 8,050.00	
	LV-1,2 & 3, Louver (GREENHECK ESD-435)	3	EA	\$	650.00	\$ 1,950.00	
	Volume Damper	11	EA	\$	450.00	\$ 4,950.00	
	BD-1, Backdraft Damper (GREENHECK)	1	EA	\$	500.00	\$ 500.00	
	BD-2, Backdraft Damper (GREENHECK WD-300)	2	EA	\$	500.00	\$ 1,000.00	
	Controls	18%				\$ 47,806.20	
	HVAC Control Panel	1	EA			Incl.	
	Thermostat	4	EA			Incl.	
	ELECTRICAL						
	Electrical Service:						
E-709	Transformer No 1 (120/208V, 3P, 4W)	1	EA			By COMED	
	Transformer No 2 (120/240V, 1P, 4W)	1	EA			By COMED	
	Pad	2	EA	\$	3,500.00	\$ 7,000.00	
	CT's	2	EA			By COMED	
	Meter	3	EA			By COMED	
	Meter Enclosure And Meter Socket (Provided By Contractor)	1	EA	\$	5,000.00	\$ 5,000.00	
	MDP-1 (600A, 208V, 3P, 4W)	1	EA	\$	23,500.00	\$ 23,500.00	
	600AF/450AT CB	1	EA	\$	1,850.00	\$ 1,850.00	
	200AF/200AT CB	1	EA	\$	800.00	\$ 800.00	
	100AF/80AT CB	2	EA	\$	300.00	\$ 600.00	
	100AF/60AT CB	2	EA	\$	300.00	\$ 600.00	
	100AF/30AT CB	1	EA	\$	300.00	\$ 300.00	
	100AF/20AT CB	2	EA	\$	300.00	\$ 600.00	
	SPD	1	EA	\$	950.00	\$ 950.00	

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DESCRIPTION		QTY.	UNIT	UNIT PRICE		COST	SUB-TOTAL
	Panel LP-1 (225A, 208/120V, 3P, 4W, 22KA, NEMA 1, Surface MTD)	1	EA	\$	9,000.00	\$ 9,000.00	
	40A, 3P CB	1	EA	\$	250.00	\$ 250.00	
	20A, 3P CB	1	EA	\$	210.00	\$ 210.00	
	20A, 2P CB	3	EA	\$	140.00	\$ 420.00	
	20A, 1P CB	30	EA	\$	70.00	\$ 2,100.00	
	Vendor Panel	1	EA	\$	4,500.00	\$ 4,500.00	
	Conduit/ Feeders	1	LS	\$	25,000.00	\$ 25,000.00	
	Grounding						
E-714	3/4" x 10' Ground Rod	6	EA	\$	1,500.00	\$ 9,000.00	
	Ground Rod Test Well	1	EA	\$	1,500.00	\$ 1,500.00	
	#2/0 Bare Copper Conductor	348	LF	\$	35.00	\$ 12,180.00	
	Power						
E-712	Receptacles						
	Duplex Receptacle	40	EA	\$	175.00	\$ 7,000.00	
	GFCI Duplex Receptacle	2	EA	\$	210.00	\$ 420.00	
	WP/GFCI Duplex Receptacle	4	EA	\$	350.00	\$ 1,400.00	
	Duplex Receptacle, Flush Floor Mounted	4	EA	\$	1,250.00	\$ 5,000.00	
	Conduit/ Wiring	1	LS	\$	28,800.00	\$ 28,800.00	
	Lighting Fixtures						
E-712	BEGA Recessed Downlight, B50577 (19.9W)	50	EA	\$	906.00	\$ 45,300.00	
	BEGA Surface Downlight, B66058 (35.7W)	15	EA	\$	966.00	\$ 14,490.00	
	BEGA Wall Light, B24481 BEGA (41W)	7	EA	\$	888.00	\$ 6,220.00	
	ORY Uplight, ORYWI-WAI2-SW-XX-XXX-30-6FT-120-XX-RDB-1-DMB-W (2	9	EA	\$	1,098.00	\$ 9,880.00	
	LCP1, Lighting Control Panel	1	EA	\$	2,802.00	\$ 2,800.00	
	Conduit/ Wiring	1	LS	\$	28,700.00	\$ 28,700.00	
	Mechanical Equipment Connections	3,695	SF	\$	5.00	\$ 18,480.00	
	30A Disconnect Switch	2	EA			Incl.	
	60A Disconnect Switch	1	EA			Incl.	
	100A Disconnect Switch	1	EA			Incl.	
	Communications						
	Station Display	2	EA	\$	5,000.00	\$ 10,000.00	
725	VOM Speaker	3	EA	\$	650.00	\$ 1,950.00	
730	VOM Cabinet	3	EA	\$	1,250.00	\$ 3,750.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Station (Inbound) (SF)	3,695
	Station (Outbound) (SF)	N/A
	w/ Canopy (SF)	7,490
	60% Design Development Cost Estimate	
		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
	Security/ Cameras				\$ -	
	IP Based Camera, Dome Style, 360 Deg	11	EA	\$ 3,150.00	\$ 34,650.00	
	Camera System Panel/ Software	1	EA	\$ 15,000.00	\$ 15,000.00	
	Internet System Panel	1	EA	\$ 2,500.00	\$ 2,500.00	
T-728	Network Switch With Expansion Module (CISCO IE3400)	4	EA	\$ 8,768.50	\$ 35,070.00	
	FO Switch	1	EA	\$ 2,500.00	\$ 2,500.00	
	FO Patch Panel	1	EA	\$ 1,950.00	\$ 1,950.00	
T-728	CAM-CAB-01, Camera Cabinet	1	EA	\$ 600.00	\$ 600.00	
	CAM-CAB-02, Camera Cabinet	1	EA	\$ 600.00	\$ 600.00	
	CAM-CAB-03, Camera Cabinet	1	EA	\$ 600.00	\$ 600.00	
	Station Electrical Room Camera Cabinet	1	EA	\$ 900.00	\$ 900.00	
	Conduit/ Wiring	1	LS	\$ 8,536.00	\$ 8,540.00	
	Fire Alarm System					
E-716	Fire Alarm Smoke Detector	1	EA	\$ 234.00	\$ 230.00	
	Fire Alarm Manual Pull Station	3	EA	\$ 229.00	\$ 690.00	
	Fire Alarm Bell	1	EA	\$ 249.00	\$ 250.00	
	Fire Alarm Strobe	2	EA	\$ 279.00	\$ 560.00	
	Fire Alarm Horn and Strobe Light Combination	4	EA	\$ 299.00	\$ 1,200.00	
	WP Hi-Intensity Fire Alarm Strobe Light With Horn	2	EA	\$ 399.00	\$ 800.00	
	Remote Annunciator Panel	1	EA	\$ 4,250.00	\$ 4,250.00	
	FACP	1	EA	\$ 8,500.00	\$ 8,500.00	
	Sprinkler Flow Alarm Switch	1	EA	\$ 265.00	\$ 270.00	
	Sprinkler Valve Supervisory Switch	3	EA	\$ 265.00	\$ 800.00	
	Conduit/ Wiring	1	LS	\$ 11,058.00	\$ 11,060.00	
EARTHWORK						
	Inbound:					
	Mass Excavation	3,695	GSF	\$ 12.00	\$ 44,340.00	
	Structural Excavation - Excavate 5' below Street Level, 6' Above Filling	3,695	GSF	\$ 25.00	\$ 92,380.00	
	Backfill/ Compaction	1	AL	\$ 25,000.00	\$ 25,000.00	
	Temp. Soil Retention System				See Platforms	
SUBTOTAL					\$ 5,075,626.20	
	GENERAL CONDITIONS/ REQUIREMENTS	20.0%				\$ 1,015,100.00
SUBTOTAL					\$ 6,090,700.00	
	BOND & INSURANCE	3.0%				\$ 183,000.00
	PHASING	10.0%				\$ 609,000.00
	PROFIT	5.0%				\$ 314,000.00
	CONTINGENCY	4.0%				\$ 288,000.00
	ESCALATION	3.6%				Excl.
TOTAL					\$ 7,484,700.00	

ESTIMATORS STATEMENT OF PROBABLE CONSTRUCTION COSTS



Glen Ellyn METRA Station

551 Crescent Boulevard

Glen Ellyn, IL 60137

Ramps & Stairs (Inbound) (SF)

3,695

Ramps & Stairs (Outbound) (SF)

4,640

Tunnel (SF)

890

60% Design Development Cost Estimate

12/24/2024

DESCRIPTION	QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
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PEDESTRIAN UNDERPASS

PEDESTRIAN UNDERPASS						
UNDERPASS						
A13	Ramp Railings					
A415	R1 - (3'-6" H) Guard Rail w/ Hand Rail	95	LF	\$ 165.00	\$ 15,680.00	
A415	R1 - (3'-6" H) Guard Rail	50	LF	\$ 135.00	\$ 6,750.00	
A409/A412	R1 - 3'-0"H Stair Guardrail	1,118	LF	\$ 150.00	\$ 167,700.00	
A409/A412	R2 - 3'-0"H Stair Guardrail	90	LF	\$ 150.00	\$ 13,500.00	
A409/A412	R3 - Wall Mounted Handrail	1,395	LF	\$ 125.00	\$ 174,380.00	
	Pedestrian Tunnel Lighting	890	SF	\$ 40.00	\$ 35,600.00	
	Pedestrian Tunnel Security/ Cameras	890	SF	\$ 12.00	\$ 10,680.00	
	Pedestrian Tunnel Fire Alarm System	890	SF	\$ 6.00	\$ 5,340.00	
TUNNEL						
	Mobilization:	1	AL	\$ 200,000.00	\$ 200,000.00	
T514	Excavate Dia 16'-3", Length 61'-2"	476	CY	\$ 850.00	\$ 404,400.00	
T514/515	9" Shotcrete Surface w/ Sprayed-on Waterproofing Membrane	3,211	SF	\$ 135.00	\$ 433,540.00	
T513	Concrete Wall Openings - 15'-0"x16'-0", Remove Sheet Piling	2	EA	\$ 50,000.00	\$ 100,000.00	
T513	(61'-2" Long) Grout Filled Steel Pipe	66	EA	\$ 17,500.00	\$ 1,155,000.00	
T514	W8x31 Ring Beam (18 EA)	12	TONS	\$ 10,425.00	\$ 126,520.00	
T514	Beam Placement	18	EA	\$ 15,000.00	\$ 270,000.00	
T514	(61'-2" Long) 1" Dia Fiber Glass Rod	12	EA	\$ 8,500.00	\$ 102,000.00	
T515	Settlement Rod, 1" Dia Rebar, 1' Long	4	EA	\$ 750.00	\$ 3,000.00	
T515	Displacement Monitoring Point	3	EA	\$ 8,500.00	\$ 25,500.00	
	Haul/ Disposal	52	LDS	\$ 450.00	\$ 23,550.00	
	Phasing	30%			\$ 853,100.00	
	Finishes	1	AL	\$ 400,000.00	\$ 400,000.00	
	Suspended Metal Ceiling System	495	SF	\$ 135.00	\$ 66,830.00	
	Sealed Concrete	633	SF	\$ 15.00	\$ 9,490.00	
	Tunnel Cantilever Concrete Slab/ Reinforcement	7	CY	\$ 3,250.00	\$ 22,390.00	
S512	6" Concrete Slab/ Reinforcement	12	CY	\$ 1,950.00	\$ 24,190.00	
	Site Restoration	1	AL	\$ 65,000.00	\$ 65,000.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Ramps & Stairs (Inbound) (SF)	3,695
	Ramps & Stairs (Outbound) (SF)	4,640
	Tunnel (SF)	890
	60% Design Development Cost Estimate	
		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
STAIRS/RAMP 1						
	Ramp Structure - <i>Incl. Reinforcement/Formwork</i>					
	Mat Slab Footings	376	CY	\$ 975.00	\$ 366,350.00	
S551	Mat Slab Footings 2'Th.	850	SF		Incl.	
S551	Mat Slab Footings 3'Th.	2,815	SF		Incl.	
S551	Isolated Column Footing (4 EA)	6	CY	\$ 1,462.50	\$ 9,210.00	
S551	Concrete Beams	3	CY	\$ 812.50	\$ 2,230.00	
S551	Concrete Column/ Pier (3 EA)	1	CY	\$ 1,462.50	\$ 1,610.00	
S551	Ramp Walls	585	CY	\$ 812.50	\$ 475,310.00	
S551	12" Ramp Slab	2,245	SF	\$ 32.00	\$ 71,840.00	
S552	12" CA-6, Compacted - Under 12" Slab	2,245	SF	\$ 95.00	\$ 213,280.00	
A409	Ramp Stair/Steps					
	(15'-8" Wide x 22 Riser) Concrete Stair	1	EA	\$ 137,896.00	\$ 137,900.00	
	(5'-6" Wide x 14 Riser) Concrete Stair	1	EA	\$ 30,800.00	\$ 30,800.00	
	Excavation/Backfill	3,325	SF	\$ 35.00	\$ 116,380.00	
	Haul/ Disposal	1	AL	\$ 50,000.00	\$ 50,000.00	
571	Canopy Structure					
	HSS Roof Trusses					
	(13'-0" W) HSS Truss	3	EA	\$ 2,925.00	\$ 8,780.00	
	(20"-0" W) Steel Truss	13	EA	\$ 4,500.00	\$ 58,500.00	
	(38"-0" W) Steel Truss	1	EA	\$ 8,550.00	\$ 8,550.00	
	HSS Beam	14	TONS	\$ 8,500.00	\$ 114,850.00	
	HSS Columns	6	TONS	\$ 8,500.00	\$ 46,750.00	
	(2'-8" x 2'-8" x 6'-0") SQ Column	4	EA	\$ 2,700.00	\$ 10,800.00	
	CMU Columns - 4'-6" High - Brick Veneer Surround	24	EA	\$ 1,900.00	\$ 45,600.00	
a409/410	Roofing:					
	Asphalt Roof Assembly					
	Asphalt Shingles	5,946	SF	\$ 14.00	\$ 83,240.00	
	Single Ply Roof Membrane	5,946	SF	\$ 18.00	\$ 107,020.00	
	Cover Board	5,946	SF	\$ 1.50	\$ 8,920.00	
	Roof Insulation	5,946	SF	\$ 6.50	\$ 38,650.00	
	Vapor Retarder	5,946	SF	\$ 0.50	\$ 2,970.00	
	Substrate Board	5,946	SF	\$ 1.50	\$ 8,920.00	
	Painted Tongue & groove Wood Roof Decking - WD1	5,946	SF	\$ 15.00	\$ 89,180.00	
A411	Aluminum Fascia and Blockings	535	LF	\$ 48.00	\$ 25,680.00	
	Cont. Metal Gutter	450	LF	\$ 48.00	\$ 21,600.00	
	AL Downspouts	120	LF	\$ 35.00	\$ 4,200.00	
	Exterior Wall Assembly: Elevations Missing					
	Brick Veneer on Concrete Wall	4,494	SF	\$ 38.00	\$ 170,750.00	
	Cultured Stone on Concrete Wall	205	SF	\$ 101.00	\$ 20,660.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Ramps & Stairs (Inbound) (SF)	3,695
	Ramps & Stairs (Outbound) (SF)	4,640
	Tunnel (SF)	890
	60% Design Development Cost Estimate 12/24/2024	

DESCRIPTION		QTY.	UNIT	UNIT PRICE		COST	SUB-TOTAL
STAIRS/RAMP 2							
s555	Ramp Structure - <i>Incl. Reinforcement/Formwork</i>						
	Mat Slab Footings 3'Th.	503	CY	\$ 975.00	\$	490,430.00	
s556	Ramp Walls	842	CY	\$ 812.50	\$	684,130.00	
s555	12" Ramp Slab	2,315	SF	\$ 32.00	\$	74,080.00	
s555	12" CA-6, Compacted - Under 12" Slab	2,315	SF	\$ 95.00	\$	219,930.00	
A412	Ramp Stair/Steps						
	(13'-8" Wide x 34 Riser x 1 Landing) Concrete Stair/Steps	1	EA	\$ 197,912.00	\$	197,910.00	
	(13'-8" Wide x 16 Riser) Concrete Stair/Steps	1	EA	\$ 87,488.00	\$	87,490.00	
	Excavation/Backfill	3,270	SF	\$ 35.00	\$	114,450.00	
	Haul/ Disposal	1	AL	\$ 50,000.00	\$	50,000.00	
571	Canopy Structure						
	HSS Roof Trusses						
	(20'-0" W) Steel Truss	12	EA	\$ 4,500.00	\$	54,000.00	
	HSS Columns (24 EA) - 6.5' High	4	TONS	\$ 8,500.00	\$	32,390.00	
	CMU Columns - 4'-6" High - Brick Veneer Surround	24	EA	\$ 1,900.00	\$	45,600.00	
A412	Roofing:						
	Asphalt Roof Assembly						
	Asphalt Shingles	5,572	SF	\$ 14.00	\$	78,000.00	
	Single Ply Roof Membrane	5,572	SF	\$ 18.00	\$	100,290.00	
	Cover Board	5,572	SF	\$ 1.50	\$	8,360.00	
	Roof Insulation	5,572	SF	\$ 6.50	\$	36,210.00	
	Vapor Retarder	5,572	SF	\$ 0.50	\$	2,790.00	
	Substrate Board	5,572	SF	\$ 1.50	\$	8,360.00	
	Painted Tongue & groove Wood Roof Decking - WD1	5,572	SF	\$ 15.00	\$	83,570.00	
	Aluminum Fascia and Blockings	555	LF	\$ 48.00	\$	26,640.00	
	Cont. Metal Gutter	510	LF	\$ 48.00	\$	24,480.00	
	AL Downspouts	100	LF	\$ 35.00	\$	3,500.00	
	Exterior Wall Assembly:						
	Brick Veneer on Concrete Wall	3,641	SF	\$ 38.00	\$	138,360.00	
	Cultured Stone on Concrete Wall	50	SF	\$ 101.00	\$	5,000.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Ramps & Stairs (Inbound) (SF)	3,695
	Ramps & Stairs (Outbound) (SF)	4,640
	Tunnel (SF)	890
	60% Design Development Cost Estimate	
		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
RAMP 3						
	Ramp Concrete Structure - (No Details), 45 LF. Include Slabs & Walls	275	SF	\$ 975.00	\$ 268,130.00	
	Excavation/Backfill	275	SF	\$ 35.00	\$ 9,630.00	
	Haul/ Disposal	1	AL	\$ 10,000.00	\$ 10,000.00	
	Misc.					
551	Temporary Soil Retention System, For Ramps and Stairs	1	AL	\$ 1,500,000.00	\$ 1,500,000.00	
	Underground Drain Pipe	120	LF		From Civil/ See Div 2000	
	Cont. Water stop	1	AL	\$ 15,000.00	\$ 15,000.00	
	Concrete Wall Cast against Permanent Sheet Pile	1	AL	\$ 150,000.00	\$ 150,000.00	
SUBTOTAL						\$ 11,583,400.00
	GENERAL CONDITIONS/ REQUIREMENTS	20.0%				\$ 2,316,700.00
SUBTOTAL						\$ 13,900,100.00
	BOND & INSURANCE	3.0%				\$ 417,000.00
	PHASING	10.0%				\$ 1,390,000.00
	PROFIT	5.0%				\$ 716,000.00
	CONTINGENCY	4.0%				\$ 657,000.00
	ESCALATION	3.6%				Excl.
TOTAL						\$ 17,080,100.00



ESTIMATORS STATEMENT OF PROBABLE CONSTRUCTION COSTS



Glen Ellyn METRA Station

551 Crescent Boulevard

Glen Ellyn, IL 60137

Platform (Inbound) (SF)

8,215

Platform (Outbound) (SF)

9,110

60% Design Development Cost Estimate

12/24/2024

DESCRIPTION

QTY.

UNIT

UNIT PRICE

COST

SUB-TOTAL

PLATFORMS

civil platform plan	Remove Concrete Platform (by Upper Labor Forces)	14,710	SF	\$	5.00	\$	73,550.00	
	Union Pacific Flagmen/ Coordination	1	LS	\$	50,000.00	\$	50,000.00	
	INBOUND PLATFORM	8,215	SF					
E719/E720	Platform Lighting							
	BEGA Downlight, 55844 BEGA (20W)	5	EA	\$	1,356.00	\$	6,780.00	
21	BEGA Wall Light, B24481 BEGA (41W)	7	EA	\$	888.00	\$	6,220.00	
	BEGA Wall Light, B24502 BEGA (17W)	10	EA	\$	1,188.00	\$	11,880.00	
	Pole Mounted Area Type Light Fixture (962TC-XRLED-12L30T3-MDL14-SV2, 59.9W)	3	EA	\$	12,500.00	\$	37,500.00	
	Conduit/ Wiring	1	LS	\$	77,000.00	\$	77,000.00	
civil platform plan	Trench Drain	464	LF	\$	275.00	\$	127,720.00	
	Temporary Soil Retention System	3,882	SF	\$	45.00	\$	174,670.00	
	1'-6" Deep, Foundation of Retaining Wall	76	CY	\$	850.00	\$	64,650.00	
	1' Wide, Retaining Walls	51	CY	\$	850.00	\$	43,100.00	
	Reinforcement (150Lbs/ CY)	9.51	Tons	\$	3,800.00	\$	36,130.00	
	Composite Wall Drain System	2,396.01	SF	\$	26.00	\$	62,300.00	
	Granular Backfill	609	CY	\$	65.00	\$	39,550.00	
	6" Top Concrete Platform Slab	152	CY	\$	750.00	\$	114,100.00	
	6" Top Concrete Platform Ramp Slab	15	CY	\$	750.00	\$	11,250.00	
	Reinforcement (150Lbs/ CY)	12.53	Tons	\$	3,800.00	\$	47,630.00	
	METRA Furnished Bedding	75	CY	\$	130.00	\$	9,750.00	
	METRA Furnished Tactile Panel, UPRR to Install	1,470	SF	\$	150.00	\$	220,500.00	
	6"x2'-0" Wood Header Bolted into Bedding w/ Rods	685	LF	\$	265.00	\$	181,410.00	
	Thickened Slabs	1	AL	\$	50,000.00	\$	50,000.00	
	Union Pacific Flagmen/ Coordination	1	LS	\$	250,000.00	\$	250,000.00	
	Phasing/ Downtime	35%				\$	456,760.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	Platform (Inbound) (SF)	8,215
	Platform (Outbound) (SF)	9,110
60% Design Development Cost Estimate		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
OUTBOUND PLATFORM		9,110	SF			
civil platform plan	BEGA Wall Light, B24481 BEGA (41W)	7	EA	\$ 888.00	\$ 6,220.00	
	Trench Drain	513	LF	\$ 275.00	\$ 141,080.00	
	Temporary Soil Retention System	4,304	SF	\$ 45.00	\$ 193,700.00	
	1'-6" Deep, Foundation of Retaining Wall	84	CY	\$ 850.00	\$ 71,700.00	
	1' Wide, Retaining Walls	56	CY	\$ 850.00	\$ 47,800.00	
	Reinforcement (150Lbs/ CY)	10.54	Tons	\$ 3,800.00	\$ 40,070.00	
	Composite Wall Drain System	2,657.08	SF	\$ 26.00	\$ 69,080.00	
	Granular Backfill	675	CY	\$ 65.00	\$ 43,860.00	
	6" Top Concrete Platform Slab	169	CY	\$ 750.00	\$ 126,530.00	
	6" Top Concrete Platform Ramp Slab	15	CY	\$ 750.00	\$ 11,250.00	
	Reinforcement (150Lbs/ CY)	13.78	Tons	\$ 3,800.00	\$ 52,360.00	
	METRA Furnished Bedding	75	CY	\$ 130.00	\$ 9,750.00	
	METRA Furnished Tactile Panel, UPRR to Install	1,800	SF	\$ 150.00	\$ 270,000.00	
	6"x2'-0" Wood Header Bolted into Bedding w/ Rods	759	LF	\$ 265.00	\$ 201,180.00	
	Thickened Slabs	1	AL	\$ 32,000.00	\$ 32,000.00	
	Union Pacific Flagmen/ Coordination	1	LS	\$ 250,000.00	\$ 250,000.00	
	Phasing/ Downtime	35%			\$ 496,750.00	
	Excavation/ Backfill	1	AL	\$ 100,000.00	\$ 100,000.00	
SUBTOTAL						\$ 4,315,780.00
	GENERAL CONDITIONS/ REQUIREMENTS	20.0%				\$ 863,200.00
SUBTOTAL						\$ 5,179,000.00
	BOND & INSURANCE	3.0%				\$ 155,000.00
	PHASING	10.0%				\$ 518,000.00
	PROFIT	5.0%				\$ 267,000.00
	CONTINGENCY	4.0%				\$ 245,000.00
	ESCALATION	3.6%				Excl.
TOTAL						\$ 6,364,000.00



ESTIMATORS STATEMENT OF PROBABLE CONSTRUCTION COSTS



Glen Ellyn METRA Station

551 Crescent Boulevard

Glen Ellyn, IL 60137

WS (Inbound) (SF)

225

WS (Outbound) (SF)

N/A

w/ Canopy (SF)

375

60% Design Development Cost Estimate

12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
INBOUND WARMING SHELTER						
S524	Isolated Column Footings (6 EA)	9	CY	\$ 1,625.00	\$ 15,080.00	
S524	Reinforcement (100Lbs/ CY)	0.46	Tons	\$ 3,800.00	\$ 1,760.00	
S524	(2'-0" x 2'-0" x 10'-0") Concrete Column	9	CY	\$ 1,462.50	\$ 13,000.00	
S524	Reinforcement (100Lbs/ CY)	0.44	Tons	\$ 3,800.00	\$ 1,690.00	
S524	Concrete Walls and Footings	29	CY	\$ 1,462.50	\$ 41,900.00	
S524	Reinforcement (100Lbs/ CY)	1.43	Tons	\$ 3,800.00	\$ 5,440.00	
S524	Columns					
S524	HSS8x8x3/8 Columns - (6 EA)	1	Tons	\$ 17,375.00	\$ 21,610.00	
S524	Beams					
S524	HSS Beams	1	Tons	\$ 17,375.00	\$ 16,200.00	
S524	Roof Framing					
S524	HSS Truss Framing					
S524	(12'-4" W) HSS4x4x3/8 Truss Framing	3	EA	\$ 3,393.50	\$ 10,180.00	
	Connection Plates, Base Plates, etc.	0.3	Tons	\$ 6,950.00	\$ 2,270.00	
S524	Moment Connections	8	EA	\$ 540.00	\$ 4,320.00	
A420	Roofing					
	Asphalt Roof Assembly					
	Asphalt Shingles	410	SF	\$ 14.00	\$ 5,740.00	
	Single Ply Roof Membrane	410	SF	\$ 18.00	\$ 7,390.00	
	5/8" Cover Board	410	SF	\$ 1.50	\$ 620.00	
	Roof Insulation	410	SF	\$ 6.50	\$ 2,670.00	
	Vapor Retarder	410	SF	\$ 0.50	\$ 210.00	
	5/8" Substrate Board	410	SF	\$ 1.50	\$ 620.00	
	Wood Decking	410	SF	\$ 12.00	\$ 4,920.00	
A421	Aluminum Fascia and Blockings	95	LF	\$ 48.00	\$ 4,560.00	
A420	Cont. Metal Gutter	65	LF	\$ 28.00	\$ 1,820.00	
A420	AL Downspouts	40	LF	\$ 48.00	\$ 1,920.00	
A420	Metal Plate Soffit:					
	Metal Plate Soffit - Cold Formed Metal Framing, Glass Mat Gypsum Sheathing, Fluid-Applied Membrane Air Barrier, Mineral Wool Board Insulation, w/ Metal Soffit Panels - Assumed	215	SF	\$ 65.00	\$ 13,940.00	
A421	Exterior/Interior Doors + Hardware:					
	(3'-4"x7'-10") Door w/ Frame	2	EA	\$ 9,500.00	\$ 19,000.00	
	Hardware	2	EA	\$ 4,500.00	\$ 9,000.00	
A421	Enclosure / Exterior Glazing					
	Glazing/Storefront	290	SF	\$ 125.00	\$ 36,250.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	WS (Inbound) (SF)	225
	WS (Outbound) (SF)	N/A
	w/ Canopy (SF)	375
60% Design Development Cost Estimate		12/24/2024

	DESCRIPTION	QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
A420	Floor Finishes					
	Sealed Concrete	130	SF	\$ 6.00	\$ 780.00	
A420	Ceiling Finishes					
	Gypsum Board Ceiling w/ Paint (Assumed)	120	SF	\$ 15.00	\$ 1,800.00	
A420	Wall Finishes:					
	E-ST-01 - 4-5/8" Cast Stone Veneer, Architectural Cast Stone @ Shelter Interior Side	13	SF	\$ 112.50	\$ 1,490.00	
	Paint @ Gyp Walls	180	SF	\$ 1.90	\$ 340.00	
A420	Finish Carpentry:					
	(2'-4" deep) Built-In Bench (No Details)	9	LF	\$ 180.00	\$ 1,620.00	
A421	Exterior Wall Assembly:					
	Cast Stone Wall Assembly on CMU Wall					
	4-5/8" Cast Stone Veneer, 2" Thk Rigid Insulation w/ Z Furring Channels, Weather Barrier, 8" CMU, Brick Veneer Inside	88	SF	\$ 112.50	\$ 9,900.00	
	Brick Masonry Wall Assembly					
	8" Double Wythe Brick Masonry Veneer, 2" Thk Rigid Insulation w/ Z Furring Channels, Weather Barrier, Glass Mat Gypsum Sheathing, Brick Veneer Inside	110	SF	\$ 56.00	\$ 6,160.00	
	Excavation					
	Structural Excavation	155	CY	\$ 90.00	\$ 13,920.00	
	Backfill/ Compaction	1	AL	\$ 1,500.00	\$ 1,500.00	
	Warming Shelter					
M605	IRH-1 & 2, Infrared Heater (DELTA-THERM, DT-BAH-45-B-252)	2	EA	\$ 2,250.00	\$ 4,500.00	
	Thermostat	2	EA	\$ 350.00	\$ 700.00	
	EF-2 Exhaust Fans (750CFM, GREENHECK SQ-95-VG)	1	EA	\$ 2,500.00	\$ 2,500.00	
	Thermostat	1	EA	\$ 350.00	\$ 350.00	
	MD-1 & 2, Motorized Damper (GREENHECK VCD-23)	2	EA	\$ 650.00	\$ 1,300.00	
	L4 & 5, Louver (GREENHECK ESD-435)	2	EA	\$ 500.00	\$ 1,000.00	
	Diffuser/Grille	2	EA	\$ 350.00	\$ 700.00	
	Grounding	225	SF		N/A	
	3/4" x 10' Ground Rod	3	EA	\$ 1,500.00	N/A	
	Ground Rod Test Well	1	EA	\$ 1,330.00	N/A	
	#2/0 Bare Copper Conductor	96	LF	\$ 35.00	N/A	
E711	Panel LP-2 (100A, 208/120V, 3P, 4W, 22KA, NEMA 1, Surface MTD)	1	EA	\$ 9,000.00	\$ 9,000.00	
	40A, 3P CB	1	EA		Incl.	
	20A, 2P CB	2	EA		Incl.	
	20A, 1P CB	34	EA		Incl.	
	Power					
	Duplex Receptacle	2	EA	\$ 155.00	\$ 310.00	
	Conduit/ Wiring	1	LS	\$ 1,500.00	\$ 1,500.00	
E713	Lighting					
	Downlight	4	EA	\$ 906.00	\$ 3,620.00	
	Conduit/ Wiring	1	LS	\$ 1,500.00	\$ 1,500.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	WS (Inbound) (SF)	225
	WS (Outbound) (SF)	N/A
	w/ Canopy (SF)	375
60% Design Development Cost Estimate		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
	Lightning Protection				See Above	
	Fire Alarm System					
717	Fire Alarm Smoke Detector	1	EA	\$ 234.00	\$ 230.00	
717	Fire Alarm Horn and Strobe Light Combination	1	EA	\$ 299.00	\$ 300.00	
717	WP Hi-Intensity Fire Alarm Strobe Light With Horn	2	EA	\$ 399.00	\$ 800.00	
717	Remote Fire Alarm Annunciator Panel	1	EA	\$ 1,250.00	\$ 1,250.00	
	Conduit/ Wiring	1	LS	\$ 2,910.00	\$ 2,910.00	
SUBTOTAL						\$ 312,090.00
	GENERAL CONDITIONS/ REQUIREMENTS	20.0%				\$ 62,400.00
SUBTOTAL						\$ 374,500.00
	BOND & INSURANCE	3.0%				\$ 11,000.00
	PHASING	10.0%				\$ 37,000.00
	PROFIT	5.0%				\$ 19,000.00
	CONTINGENCY	4.0%				\$ 18,000.00
	ESCALATION	3.6%				Excl.
TOTAL						\$ 459,500.00



ESTIMATORS STATEMENT OF PROBABLE CONSTRUCTION COSTS



Glen Ellyn METRA Station

551 Crescent Boulevard

Glen Ellyn, IL 60137

WS (Inbound) (SF)

N/A

WS (Outbound) (SF)

225

w/ Canopy (SF)

375

60% Design Development Cost Estimate

12/24/2024

DESCRIPTION	QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
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OUTBOUND WARMING SHELTER

S524	Isolated Column Footings (6 EA)	9	CY	\$	1,625.00	\$	15,080.00	
S524	Reinforcement (100Lbs/ CY)	0.46	Tons	\$	3,800.00	\$	1,760.00	
S524	(2'-0" x 2'-0" x 10'-0") Concrete Column	9	CY	\$	1,462.50	\$	13,000.00	
S524	Reinforcement (100Lbs/ CY)	0.44	Tons	\$	3,800.00	\$	1,690.00	
S524	Concrete Walls and Footings	29	CY	\$	1,462.50	\$	41,900.00	
S524	Reinforcement (100Lbs/ CY)	1.43	Tons	\$	3,800.00	\$	5,440.00	
S524	Columns							
S524	HSS8x8x3/8 Columns - (6 EA)	1	Tons	\$	17,375.00	\$	21,610.00	
S524	Beams							
S524	HSS Beams	1	Tons	\$	17,375.00	\$	16,200.00	
S524	Roof Framing							
S524	HSS Truss Framing							
S524	(12'-4" W) HSS4x4x3/8 Truss Framing	3	EA	\$	3,393.50	\$	10,180.00	
	Connection Plates, Base Plates, etc.	0.3	Tons	\$	6,950.00	\$	2,270.00	
S524	Moment Connections	8	EA	\$	540.00	\$	4,320.00	
A420	Roofing:							
	Asphalt Roof Assembly							
	Asphalt Shingles	413	SF	\$	14.00	\$	5,780.00	
	Single Ply Roof Membrane	413	SF	\$	18.00	\$	7,430.00	
	5/8" Cover Board	413	SF	\$	1.50	\$	620.00	
	Roof Insulation	413	SF	\$	6.50	\$	2,680.00	
	Vapor Retarder	413	SF	\$	0.50	\$	210.00	
	5/8" Substrate Board	413	SF	\$	1.50	\$	620.00	
	Wood Decking	413	SF	\$	12.00	\$	4,950.00	
A421	Aluminum Fascia and Blockings	95	LF	\$	48.00	\$	4,560.00	
A420	Cont. Metal Gutter	65	LF	\$	28.00	\$	1,820.00	
A420	AL Downspouts	40	LF	\$	48.00	\$	1,920.00	
A420	Metal Plate Soffit:							
	Metal Plate Soffit - Cold Formed Metal Framing, Glass Mat Gypsum Sheathing, Fluid-Applied Membrane Air Barrier, Mineral Wool Board Insulation, w/ Metal Soffit Panels - Assumed	215	SF	\$	65.00	\$	13,940.00	
A421	Exterior/Interior Doors + Hardware:							
	(3'-4"x7'-10") Door w/ Frame	2	EA	\$	9,500.00	\$	19,000.00	
	Hardware	2	EA	\$	4,500.00	\$	9,000.00	
A421	Enclosure / Exterior Glazing							
	Glazing/Storefront	290	SF	\$	125.00	\$	36,250.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	WS (Inbound) (SF)	N/A
	WS (Outbound) (SF)	225
	w/ Canopy (SF)	375
60% Design Development Cost Estimate		12/24/2024

	DESCRIPTION	QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
A420	Floor Finishes					
	Sealed Concrete	130	SF	\$ 6.00	\$ 780.00	
A420	Ceiling Finishes					
	Gypsum Board Ceiling w/ Paint (Assumed)	120	SF	\$ 15.00	\$ 1,800.00	
A420	Wall Finishes:					
	4" Cast Stone Finish @ Shelter Interior Side	13	SF	\$ 112.50	\$ 1,490.00	
	Paint @ Gyp Walls	180	SF	\$ 1.90	\$ 340.00	
A420	Finish Carpentry:					
	(2'-4" deep) Built-In Bench (No Details)	9	LF	\$ 180.00	\$ 1,620.00	
A421	Exterior Wall Assembly:					
	Cast Stone Wall Assembly on CMU Wall					
	4-5/8" Cast Stone Veneer, 2" Thk Rigid Insulation w/ Z Furring Channels, Weather Barrier, 8" CMU, Brick Veneer Inside	88	SF	\$ 112.50	\$ 9,900.00	
	Brick Masonry Wall Assembly					
	8" Double Wythe Brick Masonry Veneer, 2" Thk Rigid Insulation w/ Z Furring Channels, Weather Barrier, Glass Mat Gypsum Sheathing, Brick Veneer Inside	110	SF	\$ 56.00	\$ 6,160.00	
	Excavation					
	Structural Excavation	155	CY	\$ 90.00	\$ 13,920.00	
	Backfill/ Compaction	1	AL	\$ 1,500.00	\$ 1,500.00	
	Warming Shelter					
M605	IRH-3 & 4, Infrared Heater (DELTA-THERM, DT-BAH-45-B-252)	2	EA	\$ 2,250.00	\$ 4,500.00	
	Thermostat	2	EA	\$ 350.00	\$ 700.00	
	EF-3 Exhaust Fans (750CFM, GREENHECK SQ-95-VG)	1	EA	\$ 2,500.00	\$ 2,500.00	
	Thermostat	1	EA	\$ 350.00	\$ 350.00	
	MD-3 & 4, Motorized Damper (GREENHECK VCD-23)	2	EA	\$ 650.00	\$ 1,300.00	
	L6 & 7, 'Louver (GREENHECK ESD-435)	2	EA	\$ 500.00	\$ 1,000.00	
	Diffuser/Grille	2	EA	\$ 350.00	\$ 700.00	
	Grounding	225	SF		N/A	
	3/4" x 10' Ground Rod	3	EA	\$ 1,500.00	N/A	
	Ground Rod Test Well	1	EA	\$ 1,330.00	N/A	
	#2/0 Bare Copper Conductor	96	LF	\$ 35.00	N/A	
E711	Panel LP-3, (100A, 208/120V, 3P, 4W, 22KA, NEMA 1, Surface MTD)	1	EA	\$ 9,000.00	\$ 9,000.00	
	40A, 3P CB	1	EA	\$ -	Incl.	
	20A, 2P CB	2	EA	\$ -	Incl.	
	20A, 1P CB	34	EA	\$ -	Incl.	
	Power					
	Duplex Receptacle	2	EA	\$ 155.00	\$ 310.00	
	Conduit/ Wiring	1	LS	\$ 1,500.00	\$ 1,500.00	
E713	Lighting					
	Downlight	4	EA	\$ 906.00	\$ 3,620.00	
	Conduit/ Wiring	1	LS	\$ 1,500.00	\$ 1,500.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137	WS (Inbound) (SF)	N/A
	WS (Outbound) (SF)	225
	w/ Canopy (SF)	375
60% Design Development Cost Estimate		12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
	Lightning Protection				See Above	
	Fire Alarm System					
717	Fire Alarm Smoke Detector	1	EA	\$ 234.00	\$ 230.00	
717	Fire Alarm Horn and Strobe Light Combination	1	EA	\$ 299.00	\$ 300.00	
717	WP Hi-Intensity Fire Alarm Strobe Light With Horn	2	EA	\$ 399.00	\$ 800.00	
717	Remote Fire Alarm Annunciator Panel	1	EA	\$ 1,250.00	\$ 1,250.00	
	Conduit/ Wiring	1	LS	\$ 2,910.00	\$ 2,910.00	
SUBTOTAL						\$ 312,210.00
	GENERAL CONDITIONS/ REQUIREMENTS	20.0%				\$ 62,400.00
SUBTOTAL						\$ 374,600.00
	BOND & INSURANCE	3.0%				\$ 11,000.00
	PHASING	10.0%				\$ 37,000.00
	PROFIT	5.0%				\$ 19,000.00
	CONTINGENCY	4.0%				\$ 18,000.00
	ESCALATION	3.6%				Excl.
TOTAL						\$ 459,600.00



ESTIMATORS STATEMENT OF PROBABLE CONSTRUCTION COSTS



Glen Ellyn METRA Station

551 Crescent Boulevard

Glen Ellyn, IL 60137

Site Work (SF)

248,350

60% Design Development Cost Estimate

12/24/2024

DESCRIPTION	QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
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2000	SITE WORK/ DEMOLITION
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Demo Pavement/Curbs:						
Remove Existing Building 1	2,226	SF		See Stations		
Remove Existing Building 2	278	SF		See Stations		
Remove Pavement - Asphalt	148,170	SF	\$ 1.35	\$ 200,030.00		
Remove Sidewalk - Concrete	24,480	SF	\$ 3.00	\$ 73,440.00		
Remove Brick Pavers	6,212	SF	\$ 8.50	\$ 52,800.00		
Remove Concrete Pavement	3,632	SF	\$ 4.25	\$ 15,440.00		
Remove Concrete Stair	375	SF	\$ 12.00	\$ 4,500.00		
Remove Brick Wall	742	LF	\$ 15.00	\$ 11,130.00		
Remove Timber/Concrete Retaining Wall	467	LF	\$ 50.00	\$ 23,350.00		
Remove Curb And Gutter	9,157	LF	\$ 12.00	\$ 109,880.00		
Remove Gutter	3,513	SF	\$ 12.00	\$ 42,160.00		
Remove Signages	14	EA	\$ 135.00	\$ 1,890.00		
Remove Bench	17	EA	\$ 135.00	\$ 2,300.00		
Remove Landscape	21,854	SF	\$ 2.00	\$ 43,710.00		
Remove Trees (3" to 24" Dia)	41	EA	\$ 1,080.00	\$ 44,280.00		
Remove Fence (By Upper Labor Forces)	446	LF	\$ 18.00	\$ 8,030.00		
Excavation/ Backfill	1	LS	\$ 25,000.00	\$ 25,000.00		
Demo Utilities:						
Remove Electrical line (Need better definition)	4,328	LF	\$ 25.00	\$ 108,200.00		
Remove Electric Handhole	3	EA	\$ 2,304.00	\$ 6,910.00		
Remove Lighting Pole	43	EA	\$ 3,804.00	\$ 163,570.00		
Remove Water Main/Service	1,901	LF	\$ 25.00	\$ 47,530.00		
Remove Fire Hydrant	4	EA	\$ 2,120.00	\$ 8,480.00		
Remove Water Valve	6	EA	\$ 828.00	\$ 4,970.00		
Remove Sanitary Sewer	2,744	LF	\$ 40.00	\$ 109,760.00		
Remove Storm Sewer	2,172	LF	\$ 65.00	\$ 141,180.00		
Remove Sanitary Structure	6	EA	\$ 2,120.00	\$ 12,720.00		
Remove Drainage Structure	28	EA	\$ 2,120.00	\$ 59,360.00		
Remove Gas line (By Others)	1,490	LF		By Others		
Remove Conduit (By Others)	711	LF		By Others		
Remove Cable/ Telecom (By Others)	825	LF		By Others		
Remove Fiber Optic (By other)	264	LF		By Others		
Excavation/ Backfill	11,145	LF	\$ 75.00	\$ 835,880.00		

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137				Site Work (SF) 	248,350
60% Design Development Cost Estimate				12/24/2024	

	DESCRIPTION	QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
	New:					
	Asphalt Roadway/Parking Lot	53,442	SF	\$ 8.00	\$ 427,540.00	
SN-113	2" Polymerized Hot-Mix Asphalt Surface Course	5,938	SY		Incl.	
	6-1/4" Hot-Mix Binder Course	5,938	SY		Incl.	
	12" Aggregate Base	5,938	SY		Incl.	
	Geotechnical Fabric	53,442	SF		Incl.	
	5" Concrete Sidewalk	29,437	SF	\$ 11.00	\$ 323,810.00	
SN-113	5" PCC	3,271	SY		Incl.	
	6" Aggregate Base, Type B	3,271	SY		Incl.	
SN-320/SN-321	Plaza Pavers (Unilock, Artline in Fossil)	3,253	SF	\$ 22.50	\$ 73,190.00	
SN-320	Street Scape Pavers (Belden Brick Company)	10,346	SF	\$ 19.00	\$ 196,570.00	
	Concrete Curb & Gutter, Type B-6.12	3,675	LF	\$ 42.00	\$ 154,350.00	
	Pavement Markings					
	Parking Stalls	246	EA	\$ 90.00	\$ 22,140.00	
	Hatch Area - No Parking Area Stripes	2,346	SF	\$ 2.50	\$ 5,870.00	
	Cross Walk	2,973	SF	\$ 2.50	\$ 7,430.00	
	Handicap - Painted Symbols	16	EA	\$ 200.00	\$ 3,200.00	
	"Only" - Printed Symbols	3	EA	\$ 200.00	\$ 600.00	
	Directional Arrows - Printed Symbols	6	EA	\$ 150.00	\$ 900.00	
	Detectable Warnings	4,010	SF	\$ 40.00	\$ 160,400.00	
	Site Furniture					
SN-320	Streetscape Bike Rack (Victor Stanley, BRQS-101 in Black)	69	EA	\$ 2,000.00	\$ 138,000.00	
	Plaza Trash and Recycling Receptacles (Chase Park Litter)	4	EA	\$ 1,500.00	\$ 6,000.00	
	Trash and Recycling Container (Victor Stanley)	32	EA	\$ 1,200.00	\$ 38,400.00	
	Bollard (Reliance Foundry, R-7539 Bollard, Black)	4	EA	\$ 1,100.00	\$ 4,400.00	
	Streetscape Benches (Victor Stanley, CS-10 in Black)	23	EA	\$ 1,800.00	\$ 41,400.00	
SN-320	Bench Surface-Mounted on Seatwall Planter 6'-0" (Backed)	5	EA	\$ 2,700.00	\$ 13,500.00	
SN-320	Bench Surface-Mounted on Seatwall Planter 6'-0" (Backed Less)	12	EA	\$ 2,700.00	\$ 32,400.00	
	Furniture Set - (1 Table, 3 Chairs)	8	EA	\$ 5,000.00	\$ 40,000.00	
SN-320	Tree Paver Grates (Ironsmith, Inc. Model 5224 60" Square Galvanized Steel 12")	47	EA	\$ 1,600.00	\$ 75,200.00	
	Tiered Seating - 2'x7' w/ Integrated Lighting (28Ea.)	1	AL	\$ 20,000.00	\$ 20,000.00	
	Signage					
	Type - S1	3	EA	\$ 750.00	\$ 2,250.00	
	Type - S-1D	3	EA	\$ 750.00	\$ 2,250.00	
	Type - S-2	4	EA	\$ 750.00	\$ 3,000.00	
	Type - S-3	1	EA	\$ 750.00	\$ 750.00	
	Type - S-5	7	EA	\$ 750.00	\$ 5,250.00	
	Signages	18	EA	\$ 750.00	\$ 13,500.00	
	Relocate Signages	7	EA	\$ 270.00	\$ 1,890.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137				Site Work (SF) 	248,350
60% Design Development Cost Estimate				12/24/2024	

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
	Water					
	4" Ductile Iron Service Line	44	LF	\$ 155.00	\$ 6,820.00	
	8" Ductile Iron Water Main Line	656	LF	\$ 268.00	\$ 175,810.00	
	12" Duct Iron Water Main Line	1,091	LF	\$ 315.00	\$ 343,670.00	
	Fire Hydrant	5	EA	\$ 6,500.00	\$ 32,500.00	
	6" Water Valve	4	EA	\$ 2,400.00	\$ 9,600.00	
	8" Water Valve	2	EA	\$ 3,500.00	\$ 7,000.00	
	12" Water Valve	4	EA	\$ 5,000.00	\$ 20,000.00	
	Buffalo Box	7	EA	\$ 2,850.00	\$ 19,950.00	
	Excavation/ Backfill	1,791	LF	\$ 75.00	\$ 134,330.00	
	Sanitary Sewer					
	4" PVC Sanitary Sewer	13	LF	\$ 16.00	\$ 210.00	
	8" PVC Sanitary Sewer	574	LF	\$ 26.00	\$ 14,920.00	
	12" PVC Sanitary Sewer	1,464	LF	\$ 35.00	\$ 51,240.00	
	Sanitary Manhole	3	EA	\$ 4,500.00	\$ 13,500.00	
	Excavation/ Backfill	2,051	LF	\$ 75.00	\$ 153,830.00	
	Storm Sewer					
	6" RCP Strom Sewer	1,439	LF	\$ 48.00	\$ 69,090.00	
	10" RCP Strom Sewer	16	LF	\$ 60.00	\$ 960.00	
	12" RCP Strom Sewer	1,220	LF	\$ 65.00	\$ 79,300.00	
	15" RCP Strom Sewer	511	LF	\$ 84.00	\$ 42,920.00	
	18" RCP Strom Sewer	341	LF	\$ 110.00	\$ 37,540.00	
	36" RCP Strom Sewer	712	LF	\$ 305.00	\$ 217,170.00	
	54" RCP Strom Sewer	381	LF	\$ 575.00	\$ 219,180.00	
	Inlet	13	EA	\$ 2,800.00	\$ 36,400.00	
	Catch Basin	26	EA	\$ 4,500.00	\$ 117,000.00	
	Manhole	27	EA	\$ 4,500.00	\$ 121,500.00	
	Cleanout	15	EA	\$ 3,500.00	\$ 52,500.00	
	Excavation/ Backfill	4,621	LF	\$ 75.00	\$ 346,560.00	
	Communications (Assumed Unchanged from Previous Estimate)					
	Cable/Internet/Telecom	326	LF	\$ 125.00	\$ 40,750.00	
	Fiber Optic	1,884	LF	\$ 60.00	\$ 113,020.00	
	Excavation/ Backfill	2,210	LF	\$ 75.00	\$ 165,720.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137			Site Work (SF) 	248,350
			60% Design Development Cost Estimate	12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
plant schedule	Landscape					
	Deciduous Tress (Plant Schedule)	72	EA	\$ 1,650.00	\$ 118,800.00	
	AG 3 - Early Glow Ohio Buckeye	10	EA		Incl.	
	AF 3 - Freemanii Maple	20	EA		Incl.	
	AR 3 - Redpointe Red Maple	5	EA		Incl.	
	CO 3 - Common Hackberry	13	EA		Incl.	
	GT 3 - Skyline Honeylocust	14	EA		Incl.	
	PT 3 - London Plan Tree	4	EA		Incl.	
	QRC Crimson Spire Oak	6	EA		Incl.	
	Ornamental Trees	15	EA	\$ 1,800.00	\$ 27,000.00	
	AGA 10 - Autumn Brilliance Serviceberry	6	EA		Incl.	
	CAR 10 - American Hornbeam	3	EA		Incl.	
	CC 10 - Red Bud	3	EA		Incl.	
	SR 3 - Japanese Tree Lilac	3	EA		Incl.	
	Deciduous Shrubs (Plant Schedule)	178	EA	\$ 105.00	\$ 18,690.00	
	AM - Iroquois Beauty Black Chokeberry	56	EA		Incl.	
	CS - Alleman's Compact Redwing Dogwood	4	EA		Incl.	
	DK - Kodiak Orange Bush Honeysuckles	59	EA		Incl.	
	HA - Annabelle Smooth Hydrangea	51	EA		Incl.	
	HV - Common Witch Hazel	8	EA		Incl.	
	Ever Green Shrubs	39	EA	\$ 135.00	\$ 5,270.00	
	JHW - Blue Rug Juniper	25	EA		Incl.	
	TM - Dense Yew	14	EA		Incl.	
	Perennials (Plant Schedule)	1,374	EA	\$ 15.00	\$ 20,610.00	
	amp - Paprika Yarrow	53	EA		Incl.	
	asb - Allium Summer Beauty	212	EA		Incl.	
	at - Butterglyweed	40	EA		Incl.	
	ep - White Coneflower	159	EA		Incl.	
	ga - Boyttle Gentian	204	EA		Incl.	
	hbm - Blue Mouse Ears Hosta	86	EA		Incl.	
	hgc - Ginkgo Craig Hosta	78	EA		Incl.	
	lc - Cardinal Flower	15	EA		Incl.	
	is - Dense Blazing Star	122	EA		Incl.	
	nc - Cat's Pajams Catmint	194	EA		Incl.	
	md - Scarlet Bee Balm	88	EA		Incl.	
	rh - Blacked-Eyes Susan	123	EA		Incl.	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137				Site Work (SF) 	248,350
60% Design Development Cost Estimate				12/24/2024	

DESCRIPTION		QTY.	UNIT	UNIT PRICE		COST	SUB-TOTAL
	Ornamental Grasses (Plant Schedule)	1,542	EA	\$	9.00	\$ 13,880.00	
	cp - Pennsylvania Sedge	79	EA			Incl.	
	dc - Tufted Hair Grass	547	EA			Incl.	
	pv - Shenandoah Switch Grass	13	EA			Incl.	
	ss - Little Bluestem	341	EA			Incl.	
	sam - Autumn Moor Grass	416	EA			Incl.	
	sh - Prairie Dropseed	146	EA			Incl.	
	Groundcovers (Plant Schedule)	1,241	EA	\$	6.00	\$ 7,450.00	
	ap - Maidenhair fern	168	EA			Incl.	
	isp - Lilyturf	1,073	EA			Incl.	
	Bulbs (Plant Schedule)	1,254	EA	\$	4.00	\$ 5,020.00	
	ma - Grape Hyacinths	324	EA			\$ -	
	mv - Virginia Bluebells	210	EA			\$ -	
	ni - Ice Follies Daffodils	720	EA			\$ -	
	Turf	12,368	SF	\$	3.25	\$ 40,200.00	
	Soil						
	6" Min Depth Soil	232	CY	\$	65.00	\$ 15,050.00	
	18" Min Depth Soil	227	CY	\$	65.00	\$ 14,780.00	
	24" Min Depth Soil	354	CY	\$	65.00	\$ 23,030.00	
	Top Soil (~8")	71	CY	\$	78.00	\$ 5,550.00	
	Bioretention Planter Soil	758	SF	\$	125.00	\$ 94,750.00	
SN-320	Moveable Planter (Sorella Planter in Metallic Gray)	45	EA	\$	2,350.00	\$ 105,750.00	
SN-324	Granite Curbed Planter (Planter Wall)	342	LF	\$	165.00	\$ 56,430.00	
SN323	Masonry Planter (Planter Wall)	430	LF	\$	150.00	\$ 64,500.00	
	Fence						
	Ornamental Fence	377	LF	\$	165.00	\$ 62,240.00	
	Flexible Delineators	17	EA	\$	500.00	\$ 8,500.00	
	Misc. Items						
	Soil Cell Limit	1,945	LF	\$	18.00	\$ 35,010.00	
	Lighting						
E-719	Pole Mounted Area Type Light Fixture (962TC-XRLED-12L30T3-MDL14-SV2, 59.9W)	69	EA	\$	12,500.00	\$ 862,500.00	
	Uplighting for Planting Beds (HL-920 Powder-Coat Black, L40, 300	28	EA	\$	850.00	\$ 23,800.00	
SN-320	Sculptural Seat Recessed Lighting (Belux, LWS12F-London Wave LED Strip)	120	LF	\$	1,150.00	\$ 138,000.00	
	BEGA Wall Light, B24481 BEGA (41W)	21	EA	\$	888.00	\$ 18,650.00	
	Conduit/ Wiring	1	LS	\$	731,500.00	\$ 731,500.00	
	EV Charging Station	4	EA	\$	10,500.00	\$ 42,000.00	

Glen Ellyn METRA Station 551 Crescent Boulevard Glen Ellyn, IL 60137			Site Work (SF)	248,350
			60% Design Development Cost Estimate	12/24/2024

DESCRIPTION		QTY.	UNIT	UNIT PRICE	COST	SUB-TOTAL
	Security/ Cameras				\$ -	
T-724	IP Based Camera, Dome Style, 360 Deg	15	EA	\$ 3,250.00	\$ 48,750.00	
	Pole Mounted Camera Switch Enclosure	2	EA	\$ 1,500.00	\$ 3,000.00	
	VIS Pole	5	EA	\$ 3,500.00	\$ 17,500.00	
	VOM Cabinet	1	EA	\$ 1,500.00	\$ 1,500.00	
	Software/ Maintenance	1	AL	\$ 30,000.00	\$ 30,000.00	
	Conduit/ Wiring	1	LS	\$ 44,000.00	\$ 44,000.00	
	Audio/Visual					
	Paging Speaker	32	EA	\$ 650.00	\$ 20,800.00	
	Conduit/ Wiring	1	LS	\$ 12,800.00	\$ 12,800.00	
	Station Display (Outdoor Rated Enclosure)	2	EA	\$ 10,000.00	\$ 20,000.00	
	Totem Display (Outdoor Rated Enclosure)	2	EA	\$ 5,000.00	\$ 10,000.00	
	TVM - Ticketing Vending Machine	6	EA		By METRA	
SUBTOTAL					\$ 9,840,670.00	
	GENERAL CONDITIONS/ REQUIREMENTS	20.0%				\$ 1,968,100.00
SUBTOTAL					\$ 11,808,800.00	
	BOND & INSURANCE	3.0%				\$ 354,000.00
	PHASING	10.0%				\$ 1,181,000.00
	PROFIT	5.0%				\$ 608,000.00
	CONTINGENCY	4.0%				\$ 558,000.00
	ESCALATION	3.6%				Excl.
TOTAL					\$ 14,509,800.00	



**Glen Ellyn Capital
Improvements Commission**
535 Duane Street
Glen Ellyn, IL 60137

Meeting 1/8/2025 7:00 PM
Department: Public Works
Department Head: Dave Buckley
Category: Report
Prepared By: Richard Daubert

AGENDA ITEM (ID # 2025-6)

DOC ID: 2025-6

Engineering Division Project Activity Report Dated 1-3-2025

Statement of the Issue:

The January 3, 2025 Engineering Division Project Activity Report is attached for review by the Capital Improvements Commission.

Analysis:

Budget Impact:

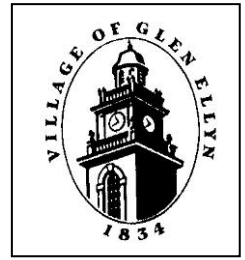
Contribution to Strategic Plan

Action Requested:

Attachments:

1. Engineering Project Report 1-3-25

January 3, 2025



ENGINEERING DIVISION PROJECT ACTIVITY REPORT

CONSTRUCTION PROJECTS IN PROGRESS

CBD STREETSCAPE AND UTILITY IMPROVEMENTS – Phase 1 – Contractor: A Lamp Concrete Contractors

(Project No. 15006; Value of Construction Contract = \$5,704,293)

There has been no work in the Phase 1 area since the last update. Minor remaining items in the Phase 1 area include post-construction televising of the sewers (January 2025), completion of a remaining electrical item at 504 Hillside (in coordination with ComEd), and replacement of concrete around the gangway trench drain behind Fire & Wine (spring 2025).

The other big item in the Phase 1 area is the sanitary sewer replacement, storm sewer work, and pavement reconstruction in the Main Street alley (west of Main, south of Duane). As per previous communication, this alley work was not part of the original Phase 1 construction contract, but was an add-on item in response to the inability to line the alley sanitary sewer as part of the Phase 1 work. The contractor was not able to undertake the alley reconstruction in 2024 given other work commitments. In response, staff is working on developing a bid package for the work as to competitively bid the alley reconstruction project in the spring of 2025.

CBD STREETSCAPE AND UTILITY IMPROVEMENTS – Phase 2-3 – Contractor: A Lamp Concrete Contractors

(Project No. 15006; Value of Construction Contract = \$16,298,499)

There has been no work in the Phase 2-3 area due to the holidays and general wintertime cessation of many construction operations. Work on the streetscaping hardscape and lighting around the Glenwood Station apartment building was largely completed in advance of Christmas holiday. The exception being the granite curb planters that are planned to be finished out complete with plantings and irrigation, once warmer returns in the spring of 2025.

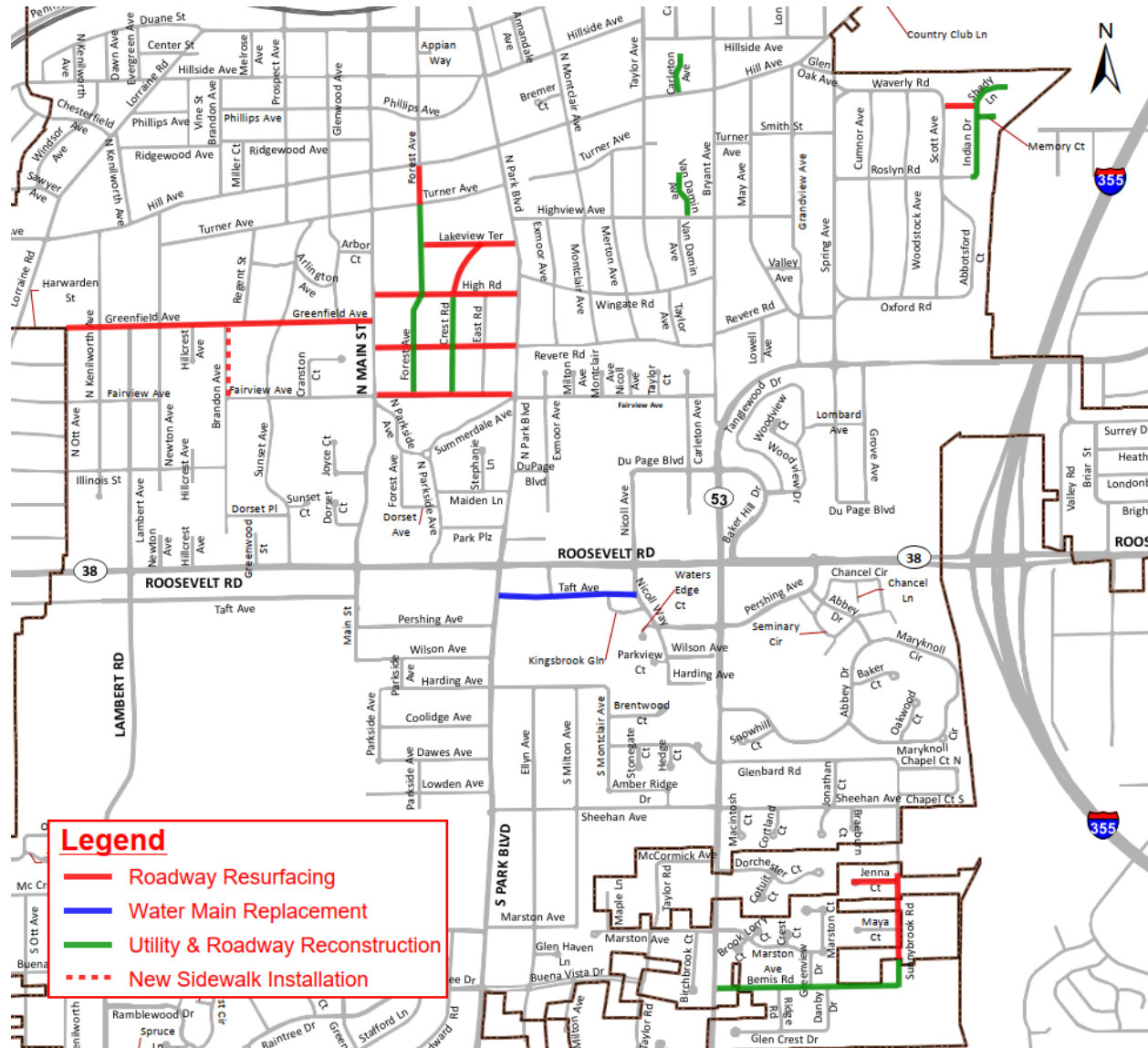
The estimated dates for the remaining Phase 2-3 streetscaping items are as follows:

- Retaining wall – The wall materials have now arrived, but due to winter conditions, the wall installation will be a spring 2025 project once the ground thaws.
- Post-construction sewer cleaning and televising – Planned for January 2025.
- Sanitary sewer lateral linings and abandonments – Scheduled for February 2025. The work is performed from the mainline sewer via truck parked at manholes – i.e. no digging.
- Punchlist items (e.g. concrete replacement, replacement plantings) – Spring 2025

2024 UTILITY AND ROADWAY IMPROVEMENTS – Contractor: John Neri Construction

(Value of Construction Contract = \$13,148,961)

This project included varying levels of roadway resurfacing, water distribution system improvements, sanitary sewer collection and conveyance system improvements, and roadway reconstruction along approximately 4.2 centerline miles of Village roadways as shown in the following location map:



Construction was largely completed by November 27th. There are a handful of remaining work items including isolated sod placement, landscaping installation and culvert epoxy injection at Glen Crest creek which will fully completed in the spring when weather permits. With the exception of the remaining work items, quantities are anticipated to be finalized this month with the project tracking approximately \$35,000 under the \$13.15M contract award. The Engineer will work with the Contractor to button up all documentation including agreement on final quantities

and preparation of the balancing change order. In addition, preparation of as-builts and closeout of the project permits will also take place.

OTHER AGENCY PROJECTS

Butterfield Road Reconstruction (IDOT)

The State continues to advance its project to reconstruct Butterfield Road from 700 feet west of Arboretum Drive to I-355. The project involves complete reconstruction of IL-56 with the end deliverable being 3 through travel lanes in each direction from Route 53 to IL-355. The intersection of IL-56 and IL-53 will also be improved with all approaches to the intersection to have dual left- turn lanes and exclusive right-turn lanes. The intersection improvements will extend north and south along IL-53 with the State continuing to work through the design process for future reconstruction of IL-53 down to Park Boulevard.

The project will also include the construction of a 10-foot-wide shared use bicycle path on the north side of IL-56 between Arboretum Drive and Lloyd Avenue. As part of the shared use path construction, a new pedestrian bridge will be constructed over the East Branch of the DuPage River. New sidewalks will also be constructed along the west side of IL-53 from the southern Walmart entrance to Pinegrove Court and along the south side of IL-56 from the Abbington to IL-53.

Utility relocation work continues to be the focus on the project. Due to the complexity and volume of utility relocation work, this work will likely extend through the better part of 2025. In addition, the utility relocation work has a significant impact on the ability to advance the widening and underground utility work associated with the roadway improvements. As such, a better grasp will not be had on the schedule for the roadway work until February of 2025 or so. Staff will continue to check in with the Engineer for applicable project updates.

Illinois Route 53 and Surrey/Parkview Traffic Signal (IDOT)

The Illinois Department of Transportation was proposing to install a traffic signal at the intersection of Illinois Route 53 and Surrey. The State indicated that the purpose of the project was to reduce the number and severity of angle, turning, and rear-end crashes. The State has presented an Agreement to staff for consideration of approval by the Village Board. The State is looking for the Village to fund \$18,026 towards the cost of the improvements along with 25% of ongoing maintenance and energy costs for the traffic signal.

On November 22, Village of Glen Ellyn and Village of Lombard staff met with IDOT representatives to discuss the project. Both Villages staff members have concerns about the project including the need/warrants for the signal, consideration of alternatives and their potential impacts on traffic operations and safety, public involvement, and design including geometrics and pedestrian accommodations.

Since the meeting, the Village of Lombard reversed its former approval of their Intergovernmental Agreement (IGA), expressing their concerns with the current project design. Based on the concerns of the two community's staff members, IDOT District 1 has indicated that they are recommending to IDOT Central Office to cancel the construction contract and not

proceed with the signal project. Glen Ellyn staff will be sharing its concerns with the Village Board prior to sending an official letter to the State that it does not support the project as currently developed.

PRIVATE DEVELOPMENT PROJECTS INVOLVING SIGNIFICANT PUBLIC IMPROVEMENTS

Harding Glen Townhomes

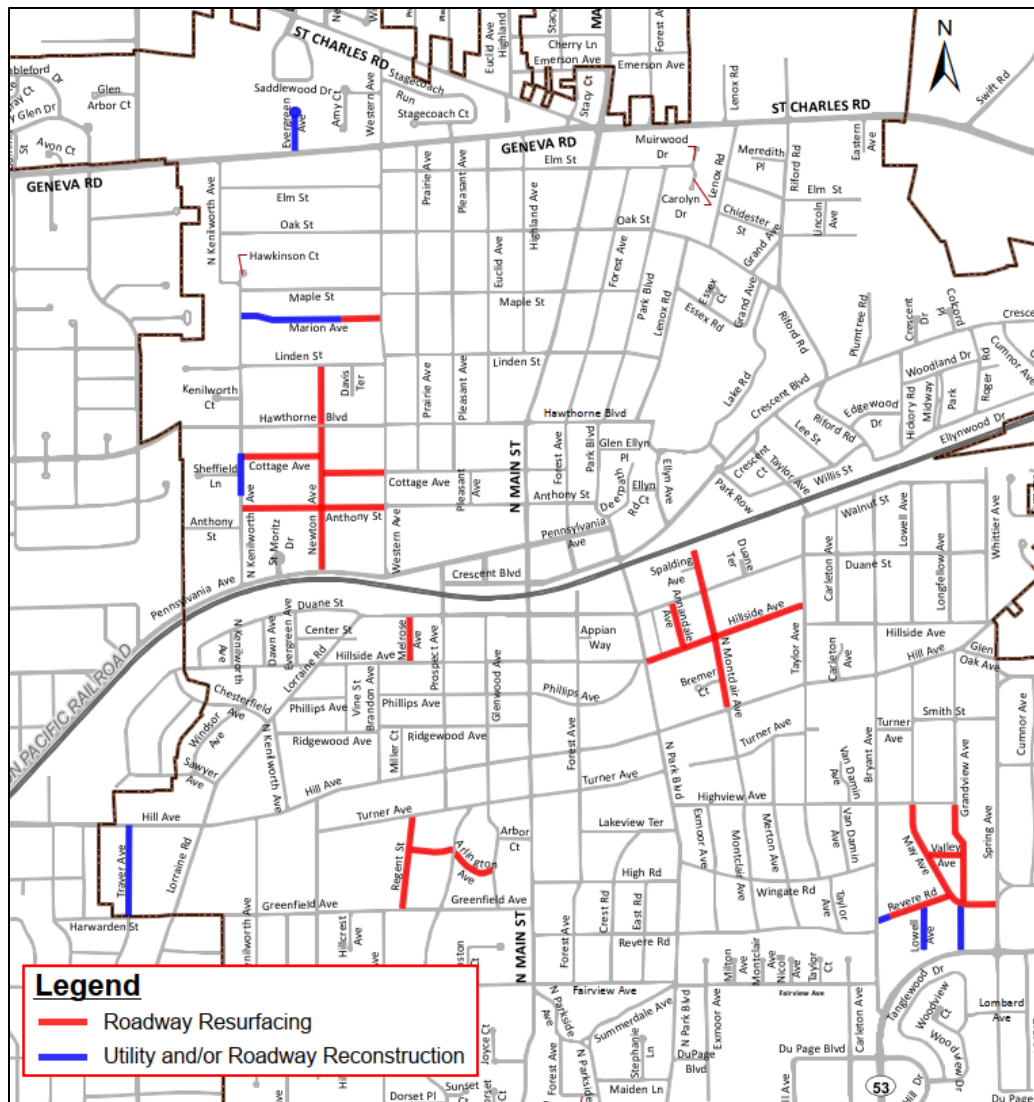
This project involves the construction of a 23-unit town home development just east of the intersection of Harding Avenue and Nicoll Way (near the major intersection of Illinois Route 53 and Pershing Avenue). The project includes a 450 foot extension of Harding Avenue via the construction of a cul-de-sac. Utility improvements include sanitary sewer main extension, water main extension, storm sewer/drainage improvements, as well as dry utility gas, electric, and communication. The developer's contractor has largely completed the sewer and water improvements within the right-of-way. In addition, the Harding Avenue roadway extension construction advanced over the last month with the roadway base construction, concrete curb & gutters constructed, and asphalt binder course paved. The final surface course will be completed at a later date to avoid surface damage due to the ongoing development construction.

ENGINEERING PROJECTS

2025 AND 2026 UTILITY AND ROADWAY IMPROVEMENTS PROJECT DESIGN – Engineer: AECOM

The 2025 MFT Resurfacing Project Design has been completed and submitted to the State for approval to bid the project. The project will be locally bid but advertised in the State's Contractor Bulletin. The 2025 Utility and Roadway Project Design is being finalized with the goal to release the project for competitive bidding in early February. Construction for both projects is anticipated to be completed in the 2025 construction season, generally between March and November.

A location map with approximate scope by street is included below for reference. The colors do not necessarily coincide with the previously noted projects.



LAMBERT AND RIFORD FEDERAL AID PROJECTS – Engineer: AECOM

These projects involve the potential use of federal funding through the Surface Transportation Program. They are on contingency lists for funding in the amounts of \$1,201,306 for Lambert and \$338,788 for Riford. The Lambert Road project involves the resurfacing of Lambert Road from Roosevelt Road to the southern Village Limit which is just south of the College of DuPage. The Riford Road project involves the resurfacing of Riford Road between Crescent and Saint Charles Road. Detailed engineering is underway with ~60% design plans submitted to the State for their review. Public Meetings for the projects will be held this spring. Staff is pushing for the projects to be competitively bid by November of this year as that will position the projects for the use of the contingency funds. However, this is dependent on timely processing of the projects by the State.

HILL AVENUE UTILITY IMPROVEMENTS – Engineer: Walter E. Deuchler Associates
(Project No. 00511)

This project involves the construction of sanitary sewer and water distribution system improvements on Hill Avenue between Golf Avenue and the East Branch of the DuPage River. The improvements will ultimately result in the Village's water main being continuous and looped along both Hill Avenue and Crescent Boulevard. Also, this will allow the Village to serve the fronting properties on Hill Avenue with potable water service.

Easement documentation was prepared for the Elliot Construction property with the documents signed by the respective party. A similar easement is needed on the north side of Hill Avenue; staff has met with the property owner to review draft easement documents. Most recently, staff evaluated an alternative corridor that the property owner requested and a follow up meeting was held with the property owner and his attorney to discuss the complications of an alternative alignment for the utilities. Having said that, staff was able to identify and opportunity to reduce the footprint of the easement which was of interest to the property owner. Next step is to revise the design plans to align with the revised easement. Other various comments will also need to be addressed by the Engineer. This will allow the project design to ultimately be finalized, easements secured, permits amended or refreshed, and project to be competitively bid.

TRAIN STATION / PEDESTRIAN TUNNEL – Engineer: CDM Smith/KMI Architects
(Project No. 16016)

Staff and CDM Smith made a formal exterior appearance application to the Village's Architectural Appearance Commission (AAC). The formal application included design revisions to address prior Commission comments on the station design. Said revisions were focused on reducing some of the noted bulk in the station elements including the canopy columns and stone arches; revisions were also made to the plaza landscaping design; lastly the use of materials was revised to provide a cleaner and simpler design. A presentation on the project and these noted revisions was given to the AAC at its December 5, 2024 Meeting. Feedback with the AAC was largely positive with the AAC ultimately requesting some further revisions to the station design prior to making a recommendation of approval for the exterior appearance. Staff and CDM Smith felt this request was very reasonable and will now work to revise the design to address the AAC's most recent comments. The main request of the AAC was for revisions to the stone arches on the station façade to better reflect the 1926 station. Having said that, there were suggestions to further incorporate the stone used in the arches in the station design, refine the design of the ceiling within the loggia at the west end of the station as well as in the interior of the station depot itself, adjust some of the finishes within the station depot, and consider a supplemental mural or public display of art beyond the existing mural which is being incorporated into the station underpass. Staff and CDM Smith have been working together through the revisions with the plan to present them to the AAC on February 12.

Staff and CDM Smith submitted grant applications for CMAP's call for projects on December 20, 2024. Staff specifically applied for the Congestion Mitigation and Air Quality Improvement Program Grant along with the Shared Surface Transportation Program Grant. The Shared STP Grant requires another step whereby Staff will submit an application for priority points from the DuPage Mayors and Managers Conference. Said application is due January 22 with Staff to then make a presentation to DMMC's Transportation Technical Committee on January 29. Member

communities then vote on the projects with points being awarded to the 5 projects with the highest number of votes.

60% Design Plans are under review by staff with the goal to complete said review by 1/15/2025. Coordination continues with the State on Phase I Engineering, Phase II Engineering, and Land Acquisition. Coordination is also ongoing with Metra and Union Pacific Railroad as it relates to the design of the station and underpass improvements. Staff is also coordinating with the Illinois Commerce Commission and Metra on the pursuit of additional funding from the respective agencies.

TRAFFIC SIGNAL MODERNIZATION PROJECT – Engineer: AECOM

Engineering staff delivered final comments to AECOM to allow for finalization of the Assignment #1 – Traffic Signal Modernization Recommendations Report. Key to the comments were adjustments to the prioritization of the multi-year recommendations in deference to signal needs and budget capacity.

Staff is also working with AECOM on refinement of their proposal for the Assignment #2 work which includes the preparation of bid plans and specifications for the proposed improvements.

ADA PUBLIC RIGHT-OF-WAY TRANSITION PLAN – CMAP TECHNICAL ASSISTANCE

In March of this year, Public Works applied to CMAP for assistance with creation of its federally-required ADA Transition Plan, as part of CMAP's 2024 Technical Assistance Call for Projects. Out of a competitive process (122 applications submitted, 30 awarded), the Village was selected to receive assistance.

Engineering staff have been coordinating with CMAP, and CMAP is in the final stages of securing a consultant for the project. Kick-off is anticipated in early 2025. The final product of the effort will be worked out at the kick-off meeting with CMAP, but is anticipated to consist of a final ADA Public Right-of-Way (PROW) Transition Plan document for, including the federally required self-assessment and inventory. The entire effort is expected to be completed in 2025.

It is important to note that this CMAP assistance and the final deliverable will only cover the Village's public rights-of-way (e.g. roadways, sidewalks). For a complete ADA Transition Plan, the Village will still need to perform a self-evaluation and create Transition Plan components for its publicly-owned facilities (e.g. Civic Center, Fire Stations) and for its general communications (e.g. website, newsletters, meeting announcements). While not explicitly part of the current CMAP Technical Assistance, we anticipate soliciting guidance from CMAP on and thereafter creating an internal strategy for the Village's future completion of these other Transition Plan components.

WATER DISTRIBUTION SYSTEM HYDRAULIC STUDY AND REPORT – Engineer: TBD

Public Works Operations issued a Request for Proposals for the development of a hydraulic model of the Village's water system along with the preparation of a report including recommended system improvements. Five proposals were received and evaluated by staff with three firms

selected for interviews. Staff is continuing its due diligence with the top performing firm with the goal to bring an agreement before the Village Board for consideration of approval.

CONSTRUCTION MAINTENANCE PROGRAMS

Public Works seeks the best vendor prices for various annual municipal and utility maintenance and operations activities. This effort includes local bidding of projects or joint purchasing initiatives, including the Municipal Partnering Initiative (MPI), a consortium of DuPage County communities.

Project	2025 Estimated Glen Ellyn Cost*	Status
2025 Asphalt Roadway Patching	\$250,000	The project scope includes roadway patching throughout the Village. Locations will be determined by staff utilizing both the Village's 2024 Pavement Management System Data and field inspections. This program will be advertised on January 29 th and will have a bid opening on February 12 th .
2025 Crack Sealing	\$45,000	The 2025 program is anticipated to be procured in the spring once staff has compiled candidate locations using 2024 Pavement Condition Index (PCI) Study data. This program will be advertised on January 29 th and will have a bid opening on February 12 th .
2025 Sidewalk and Concrete Street Repairs	\$400,000	This annual program includes repairs to deteriorated or damaged sidewalk and concrete roadway infrastructure and the installation of new sidewalk throughout the Village. This program's bid opening is scheduled for February 12 th . Budget breakdown: \$150,000 Sidewalk Replacement and \$250,000 Concrete Patching.
Sidewalk Sawing Repair Program	\$35,000	Safe Step will evaluate sidewalks for trip hazards (in areas TBD) based on the defect identification criteria that Safe Step and the Village developed together. Safe Step will provide a report with locations, descriptions, suggested repair types, and photos of each identified defect. Once the data is reviewed by the Village, Safe Step will make sawcut repairs tapered to a 1:12 slope ratio with a smooth, uniform finish. Safe Step's patented process used waterless saws, which eliminated slurry and water runoff contamination, and a dust-abatement system designed to capture fine dust.
2025 Utility Pavement Restoration	\$60,000	This program allows Public Works to use one contractor to restore Village right-of-way following in-house utility repairs instead of relying on the availability and coordination of the Village's separate concrete and asphalt contractors. The program requires the contractor to make three mobilizations throughout the construction season. The contractor must be capable of doing full-depth concrete and asphalt pavement patches, and concrete sidewalk, driveway, and curb and gutter repairs. The bid opening is planned for mid to late February.
2025 Pavement Markings	\$100,000	Historically, the Village has taken advantage of joint purchasing agreements (DuPage County or the Suburban Purchasing Cooperative) for the annual pavement marking contract; however, staff is planning on soliciting bids independently in 2025. Glen Ellyn's work was not a priority for the low bidder of the joint bid this year. The contractor refreshed a fraction (<20%) of the Village's planned work before the weather turned, which left most of the

Project	2025 Estimated Glen Ellyn Cost*	Status
		contract to be pushed to 2025. The contractor will honor 2024 unit prices when they complete work in the spring. Staff will specify a completion date in the new contract (i.e. 7/31/25) that ensures that the Village's work is completed earlier in the construction season and is prioritized by the Contractor. This program will be advertised for bid in late January.
2024 Pavement Markings	\$105,000*	The annual line striping contract was awarded to Superior Road Striping (SRS), the low bidder of both the DuPage County and Suburban Purchasing Cooperative contracts, on April 22, 2024, in the not-to-exceed amount of \$100,000. The Village utilized Suburban Purchasing Cooperative's contract unit prices, which provided the lowest total cost for the program. SRS began pavement marking on October 29th and completed one day of thermoplastic pavement marking installations, which represented approximately 25% of the planned scope; however, they were unable to complete the remaining work in the Village due to commitments elsewhere and weather delays. IDOT specifies that pavement markings are installed between April 1 and November 15 and communities typically follow that rule for their own local jobs. Completed locations include: the Lake Rd double yellow center line, the Pennsylvania Ave. double yellow center line and parking stalls (between Western and the Village's western limit), and numerous intersections. (In October, SRS installed the pavement markings in the CBD while working as a sub-consultant for A Lamp.) Superior Road Striping has committed to putting Glen Ellyn on their early April work schedule. The Streets Division refreshed pavement markings using paint in various locations, including the handicap symbols in all of the Village-owned parking lots. The Streets Division's 2024 budget for paint materials is \$5,000. <i>*The Village paid Superior Road Striping \$17,912.39 for work completed in 2024; the P.O. was carried over to the 2025 budget.</i>
2025 Asphalt Surface Rejuvenation	\$90,000	Candidate locations include streets that have been resurfaced one to three years prior. Staff is awaiting pricing from a municipal partnering initiative with single source vendor, Corrective Asphalt Materials, in the hopes that the pricing will be more advantageous for the Village. Construction is anticipated to be completed in late summer.
2025 Sanitary Sewer Lining and Repairs	\$200,000	The 2025 program will provide for sanitary sewer lining and repairs throughout the Village including within the Street Improvements Project Areas. The proposed budget for this program is \$200,000. Proposed locations for 2025 are currently being identified by PW staff.

*All costs are rounded to nearest dollar.

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